



Development Services Attachments Wednesday, 15 July 2015

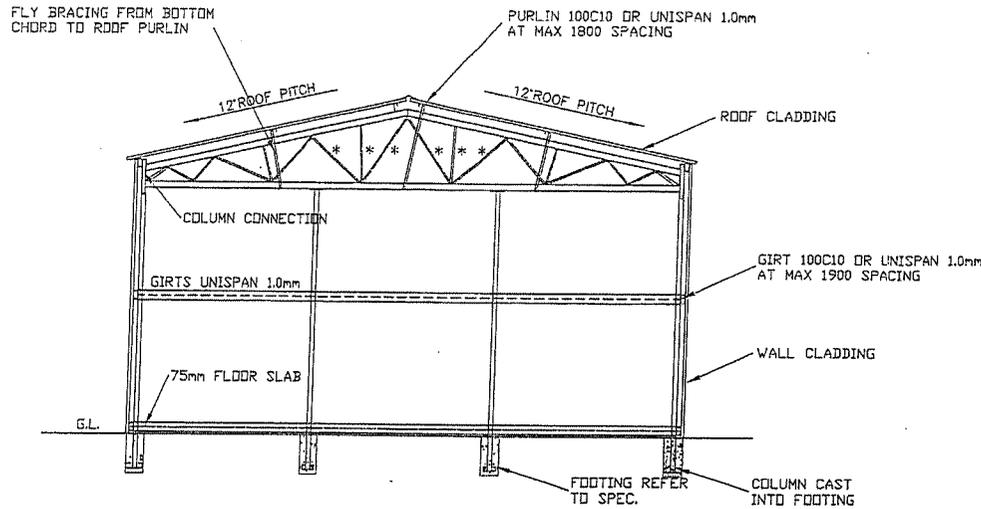
REPORT NUMBER	REPORT TITLE AND ATTACHMENT DESCRIPTION	PAGE NUMBER(S)
9.1.1	Retrospective Planning Approval for Conversion of Shed to Dwelling <ol style="list-style-type: none"> 1. Locality Plan 2. Plans indicating the plans for the Shed (Approved 2011) 3. Pictures from Applicant indicating works undertaken in unapproved conversion of shed into a dwelling 4. Plans submitted by Applicant outlining the result of the conversion of the Shed to Dwelling with Patio 5. Officer's emails to Applicant dated 17 November 2014, 23 December 2014 requesting further information and clarifying process. 	1 – 13
9.1.2	Section 70A Notification Authorisation – Lots 5 and 62 Great Northern Highway, Bindoon <ol style="list-style-type: none"> 1. Section 70A Notification document 	14 – 15
9.1.3	Proposed Scheme Amendment No. 57 Initiation – Lot 202 Wandena Road, Muceha <ol style="list-style-type: none"> 1. Aerial of location for proposed Scheme Amendment 2. Extract from Shire of Chittering Local Planning Strategy 2001 - 2015 3. Extract from Muceha Employment Node Structure Plan 4. Letter of Support 5. Images from site visit 	16 – 22
9.1.4	Proposed Industry 'Rural, Bagging of Manure and Compost' – Lot 12 (No. 101) Timaru Road, Muceha <ol style="list-style-type: none"> 1. Planning Report Submitted by Applicant 2. Map indicating Conservation Category and Multiple Use Wetlands 3. Aerial of Lot 12 Timaru Road, Muceha 4. Neighbourhood Consultation – Plan indicating extent of referral 5. Schedule of Submissions 6. Information from Applicant's product supplier 7. Images from site visit 	23 – 51
9.1.5	Proposed Scheme Amendment for Rezoning and Development Plan – Lot 2 Reserve Road and Lot 9001 Rosewood Drive, Chittering <ol style="list-style-type: none"> 1. Item 9.1.7 Council Minutes 2. Applicant submission outlining support for proposal 3. Locality Plan 4. Proposed Development Plan 5. Existing endorsed Development Plan 6. Schedule of Submissions 7. EPA Referral Comment 8. Consultation Plan 	52 – 119

Aerial Plan of Site for the Proposed Conversion of Shed to Dwelling with Patio,

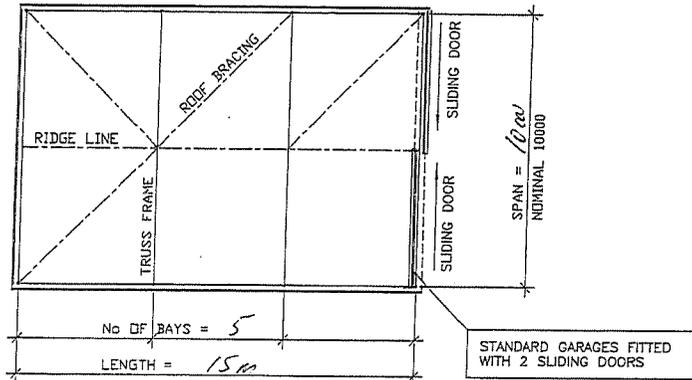
Lot 125 Turtle dove Drive



ENGINEERED FOR 41MPS - GARAGE (10m SPAN)

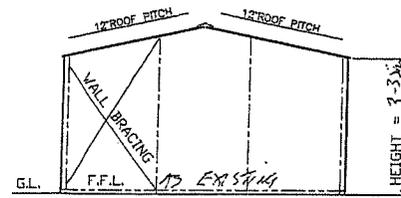


TYPICAL SECTION

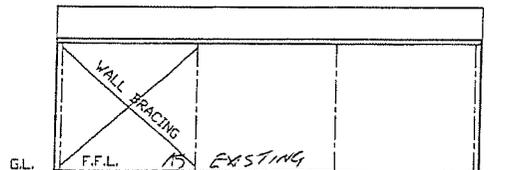


PLAN

MAXIMUM LENGTH
 3 BAYS @ 3000 IF BRACED AT ONE END ONLY
 6 BAYS @ 3000 IF BRACED AT BOTH ENDS



END ELEVATION



SIDE ELEVATION

DOOR AND WINDOW LOCATIONS AS REQUIRED BY CLIENT

MATERIALS SPECIFICATION

HEIGHT	2.4m TO 3.9m	TO 4.2m
BOTTOM CHORD	50x50x5 L G300	50x50x5 L G300
TOP CHORD	50x50x5 L G300	50x50x5 L G300
WEBBING	50x50x3 L G300	50x50x3 L G300
END WEB	50x50x3 L G300	50x50x3 L G300
CENTRE WEBS*	50x50x3 L G300	50x50x3 L G300
FLY BRACE BRACING	40x40x3 L WITH 1xM12 BOLT	
PURLINS	G550 STUD FRAME WITH 2x M12x20 TEKS EACH END	
GIRTS	UNISPAN 1.0mm MAX SPAN 3000mm	
COLUMN CONNECTION	UNISPAN 1.0mm MAX SPAN 3000mm	
COLUMNS	50x50x4 L G450 WITH 2x M12x20 BOLTS	
2400 HIGH CODE 8	55x65x4 L G450 DURAGAL	
2700 HIGH CODE 9	65x65x5 L G450 DURAGAL	
3000 HIGH CODE 10	75x75x4 L G450 DURAGAL	
3300 HIGH CODE 11	75x75x5 L G450 DURAGAL	
3600 HIGH CODE 12	75x75x6 L G450 DURAGAL	
3900 HIGH CODE 13	90x90x5 L G450 DURAGAL	
4200 HIGH CODE 14	90x90x6 L G450 DURAGAL	
FOOTINGS	TO 3050 HIGH 400x400x400 IF 75mm SLAB INSTALLED	
TO 3600 HIGH	400x400x500 IF 75mm SLAB INSTALLED	
TO 4200 HIGH	450x450x600 IF 75mm SLAB INSTALLED	
OPTIONAL ITEMS	ROLLER DOORS LOCATION AND SIZE TO CLIENT REQUIREMENTS	
WINDOWS	LOCATION AND SIZE TO CLIENT REQUIREMENTS	
SKYLIGHTS	LOCATION AND SIZE TO CLIENT REQUIREMENTS	

CLADDING	-TRIMDEK OR CUSTOM ORB TO MANUFACTURERS SPEC.
FLASHINGS	-EX 0.4mm THICK
FRAMEWORK	-FINISHED IN RED OXIDE PAINT
PURLINS/GIRTS	-TO MANUFACTURERS SPEC.
DOOR FRAME	-30x30x1.6 GALV RHS
DOOR TRACK	-ELTRAK 200kg SYSTEM
EAVES BEAM	-6000mm SPAN 250C19
	-9000mm SPAN 300C30
ROOF PITCH	-12°
BRACING	-MAX 3 BAYS UNBRACED IN ANY WALL
FLOOR	-CONCRETE TO CLIENT SPEC. MIN 75mm THICK

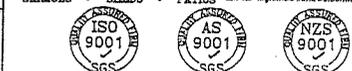
TERRAIN CATEGORY -3
 REGION -A1
 WIND SHIELDING -0.9
 IMPORTANCE LEVEL -1
 FOR RESIDENTIAL USE
 STRUCTURAL ENGINEER
 EDWARD B PICOTT
 RE AUST. REG. NFR-3 NUMBER 11690

E. B. Picott 16/5/05

QUOTE No: G01849

DATE: 28/4/2011 REF:

HIGHLINE 8 FELSPAR STREET WELSHPOOL WA 6105
 LOCKED BAG 22 WELSHPOOL DC 6086
 TEL: (08) 9451 3366
 TOLL FREE: 1800 100 366
 FAX: (08) 9451 3561
 EMAIL: highline@highline.com.au



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PROPOSED GABLE ROOF GARAGE FOR: S & J ORTIN

SITE LOCATION: LOT 125 TURTLE DEVE DR. LOWER CHITTING

Item 9.1.1

Images of Site (as provided by Applicant)

Attachment 3



Image of Shed from an elevated rear position looking east. Air-conditioning units, gas bottles and windows indicate its occupancy.



Image of the eastern side of the shed indicating the air-conditioning units, gas bottles and windows.



Image of rear of the shed looking south towards Turtledove Drive.



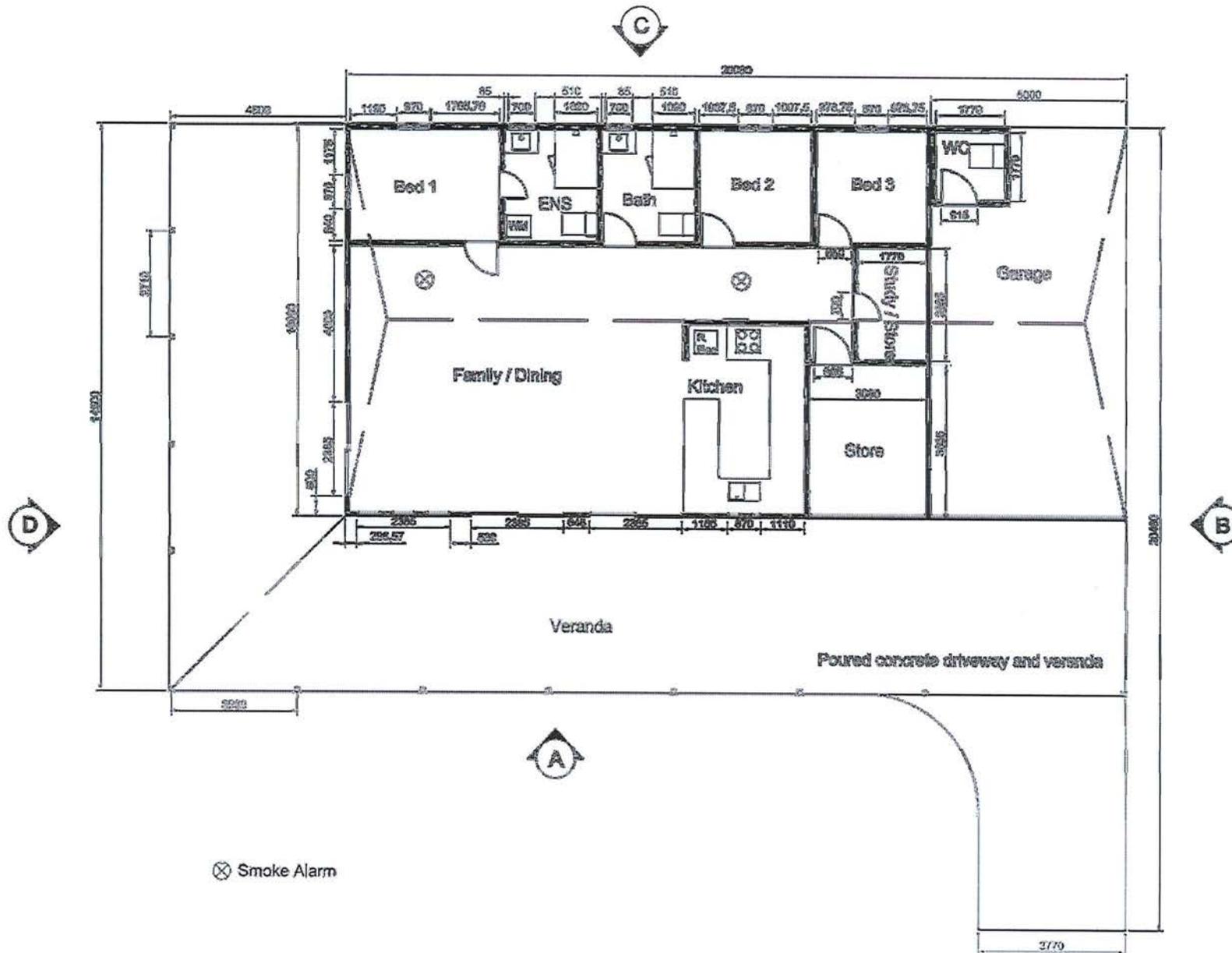
Image of the shed looking south towards Turtle dove Drive.



Image of rear of the shed – note air conditioning units, windows etc which were not included in the approved plan for the shed.



Image of rear of the shed highlighting the patio extension (which was not included in the approval for the shed).

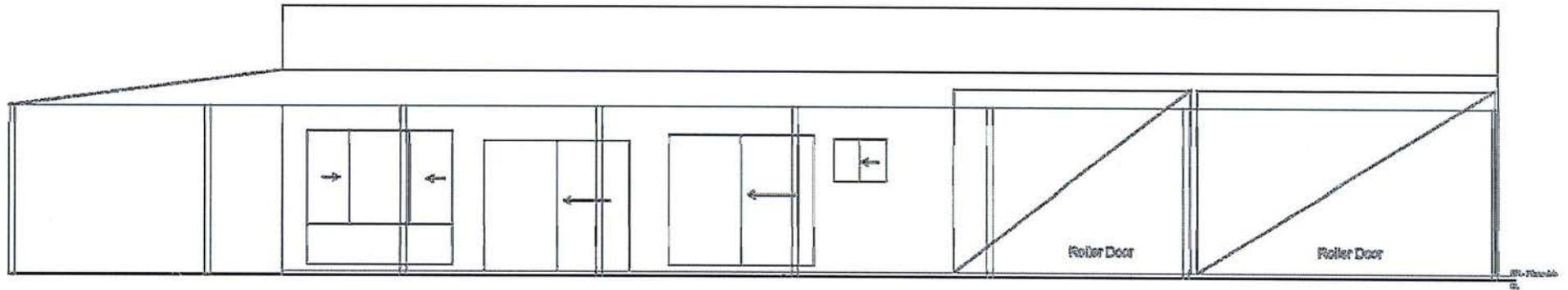


Dimensions in mm
DO NOT SCALE



Burns Beach Drafting and Design
ABN: 805 569 557 68

Sheet	1 of 5
Date	20 April 2015
Address	Lot 125 Turtledove Drive, Lower Chittering
Project	Dwelling conversion
Title	Plan View
Drawn	Suzanne Hawkes

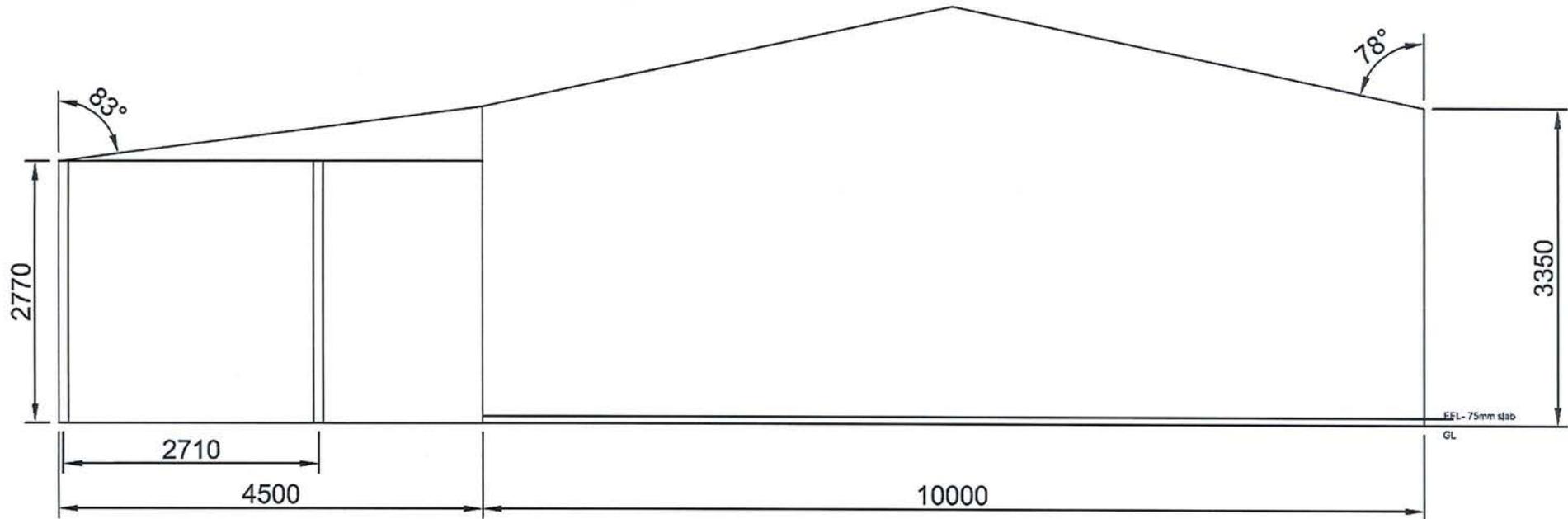


Dimensions in mm
DO NOT SCALE



Burns Beach Drafting and Design
ABN: 805 569 557 68

Sheet	2 of 5
Date	20 April 2015
Address	Lot 125 Turtledove Drive, Lower Chittering
Project	Dwelling conversion
Title	View A Elevation
Drawn	Suzanne Hawkes

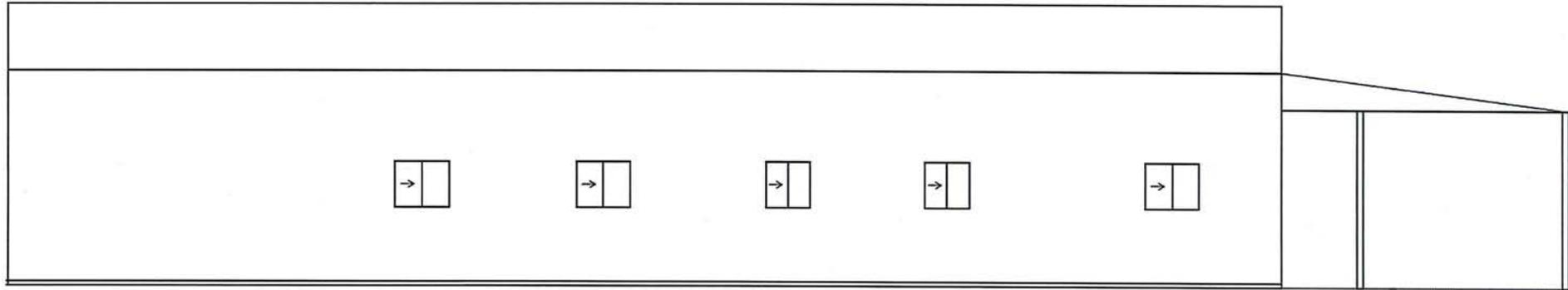


Dimensions in mm
DO NOT SCALE



Burns Beach Drafting and Design
ABN: 805 569 557 68

Sheet	3 of 5
Date	20 April 2015
Address	Lot 125 Turtledove Drive, Lower Chittering
Project	Dwelling conversion
Title	View B Elevation
Drawn	Suzanne Hawkes

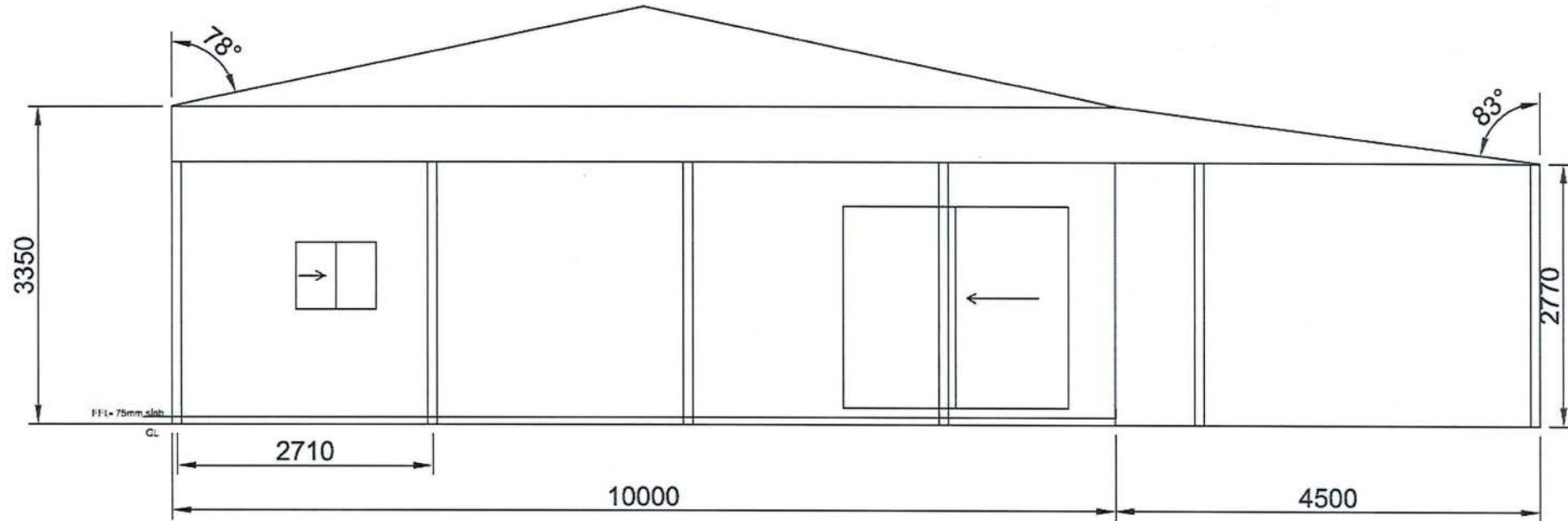


Dimensions in mm
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Burns Beach Drafting and Design
ABN: 805 569 557 68

Sheet	4 of 5
Date	20 April 2015
Address	Lot 125 Turtledove Drive, Lower Chittering
Project	Dwelling conversion
Title	View C Elevation
Drawn	Suzanne Hawkes



Dimensions in mm
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Burns Beach Drafting and Design
ABN: 805 569 557 68

Sheet	5 of 5
Date	20 April 2015
Address	Lot 125 Turtledove Drive, Lower Chittering
Project	Dwelling conversion
Title	View D Elevation
Drawn	Suzanne Hawkes

Brendan Jeans

From: Mark Johnston
Sent: Monday, 17 November 2014 3:46 PM *original advice*
To: ~~mark.johnston@shireofballarat.vic.gov.au~~
Cc: Brendan Jeans; Sam Neale
Subject: Shed conversion to dwelling - Lot 125 Turtledove Drive, Lower Chittering
Attachments: 20141114142745420.pdf

Hi Sarina,

We have been looking over the above application. The plans that have been lodged are unclear. The plans lodged with an application need to be better detailed, clearly showing setbacks to the proposed structure, including the water tanks. Currently we just have a side setback and no setbacks from the rear or front property boundaries outlined. In addition, the 'front view' elevation drawing does not correspond to the floor plan which outlines a room to the West. What is the purpose of this room? Furthermore, the elevation drawings do not show the patio addition. I have discussed the proposal with the Shire's Principal Building Surveyor who has advised the following is required for the Building Permit application which you are required to lodge subsequent to the planning application:

1. An accurate detailed site plan, clearly showing setbacks to the proposed structures, including water tanks.
2. Construction details for the verandah i.e. post sizes, footing details, stirrup detail, method of fixing to the house, gutter detail, beam sizes, beam spacing and fixing details, all in accordance with AS 1684- the Timber Framing Code. Note: The beam and rafter sizes need to be adequate for the proposed spans
3. Foundation details- what does the proposed structure sit on, is it concrete slab on ground or concrete sleepers, or steel.
4. An electrical plan is required showing the interconnected smoke alarms as required by the building code (currently only shows lighting)
5. Certification from your mechanical engineer for the air conditioning
6. Certification from your electrical contractor for the electrical installation
7. Certification from your hydraulics consultant /plumber for the waste management system
8. Certification from a practising structural engineer for the structure and the footings/slab. (This should include site classification report)
9. Confirmation from your architect, energy efficiency assessor, the proposal complies with the energy efficiency requirements of Part 3.12 of the BCA
10. The proposed method of termite protection
11. A completed BA 13- Application For Building Approval Certificate (attached)

To get enough accuracy for the plans required for points 1 – 4 it is likely you will need to have the plans drawn professionally by someone with the skills of a draftsman or surveyor. This being the case we would like the plans done now so that we can use accurately drawn elevation, floor and site plans for the planning application.

Another issue with the application is the cost of the conversion that has been outlined as \$45,000. Our calculations are closer to \$90,000 as the average cost for such a conversion. Therefore, we require the development costs to be amended to \$90,000 and the additional fees paid accordingly. If you disagree with the adjusted figure we will require a cost breakdown to justify otherwise. Under the *Building Act 2011* the Shire's Principal Building Surveyor is able to require a breakdown of the costs through receipts, quotes and/or calculated by a quantity surveyor. Furthermore, there is a publication named "Rawlinsons" that you may wish to refer to. This is the industry guide for residential and commercial building costs.

If you have any further queries please contact us.

Kind regards

Mark Johnston
Planning Officer

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6177 Great Northern Highway PO Box 70 Bindoon WA 6502
T: 08 9576 4600 F: 08 9576 1250 E: chatter@chittering.wa.gov.au
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Sarina Ortin

From: Brendan Jeans [mailto:snrplanner@chittering.wa.gov.au]

Sent: Tuesday, 23 December 2014 4:25 PM

To: [redacted]

Cc: Sam Neale; Janice Billen

Subject: conversion of shed to dwelling application - Lot 125 Turtledove Drive Lower Chittering

— last meeting confirmation

Dear Joe and Sarina,

Thank you for taking the time to meet with the Shire on Friday to discuss your application and the requirements of the Shire. In this email I will outline what was discussed so you have it in writing and to avoid confusion and the options moving forward.

Planning Application

As it stands Mark Johnston our previous Planning Officer sent you an email outlining the type of information you will be required to provide for the Shire to consider your application. In discussing this on Friday we acknowledged that much of this information was not necessarily required for the planning application but will be required if you were to apply for a retrospective building permit following a planning approval.

As discussed the Shire require the following information to proceed with the planning application:

- Updated floor plan
- Updated elevations
- Photos showing outside elevations north, south, east, west sides

Once the Shire receives this information your proposal can proceed to the next Council Meeting for Council to determine. The next Council Meeting is 17 Feb 2015 to which a report to Council must be completed by.

Consideration of proposal

As I mentioned in the meeting on Friday, the Shire's position for conversion of a shed to a dwelling is generally not to support given a shed is only for storage purposes (as declared by yourselves in the Statutory Declaration) and to approve a conversion sets a precedence of the Shire supporting unauthorised works and supporting the unauthorised fit out and occupation of sheds. This position is evident in a recent decision of a shed conversion that was refused at a recent Council Meeting. It will be difficult for the Shire to recommend Council to approve your proposal as it would undermine the previous decision and therefore it would be at Council's discretion, in which they have the ability, to go against the Shire's recommendation to approve it.

With the above being said if Council determine not to approve your conversion you do have the ability to have the decision reviewed by the State Administrative Tribunal (SAT) where the decision may be mediated. In this situation SAT would take a neutral stance and make their own assessment of the decision, which could either remain with the original decision or change it.

I understand with all the information the Shire has requested does seem like an effort for a proposal in which the Shire is in a difficult situation to approve however I feel you should be prepared for a decision either way and I can only comment on what we have considered previously. I can only reiterate what was suggested in the meeting, and that is to "put your best foot forward" and make the application, and all supporting documentation, as succinct as possible, in an effort to assist Council in making their decision.

If you have any queries of the above or issues in general please don't hesitate to contact me.

Kind regards

Brendan Jeans
Senior Planning Officer

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FORM N1

WESTERN AUSTRALIA
TRANSFER OF LAND ACT 1893 AS AMENDED

NOTIFICATION UNDER SECTION 70A

DESCRIPTION OF LAND (Note 1)

LOT 5 ON DIAGRAM 20541
LOT 62 ON DEPOSITED PLAN 33557

EXTENT

WHOLE
WHOLE

VOLUME

1936
2540

FOLIO

866
843

REGISTERED PROPRIETOR (Note 2)

SHIRE OF CHITTERING OF 6177 GREAT NORTHERN HIGHWAY, BINDOON

LOCAL GOVERNMENT / PUBLIC AUTHORITY (Note 3)

SHIRE OF CHITTERING

FACTOR AFFECTING USE OR ENJOYMENT OF LAND (Note 4)

A RETICULATED SEWERAGE SERVICE IS NOT AVAILABLE TO THE LOTS.

Dated this

day of

Year

LOCAL GOVERNMENT/PUBLIC AUTHORITY ATTESTATION (Note 5)

REGISTERED PROPRIETOR/S SIGN HERE (Note 6)

Signed

in the
presence of

Signed

in the
presence of

INSTRUCTIONS

1. If insufficient space in any section, Additional Sheet Form B1, should be used with appropriate headings. The boxed sections should only contain the words "see page....."
2. Additional Sheets shall be numbered consecutively and bound to this document by staples along the left margin prior to execution by the parties.
3. No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialed by the persons signing this document and their witnesses.

NOTES

1. **DESCRIPTION OF LAND**
 Lot and Diagram/Plan/Strata/Survey-Strata Plan number or Location name and number to be stated.
 Extent - Whole, part or balance of the land comprised in the Certificate of Title to be stated.
 The Volume and Folio number to be stated.
2. **REGISTERED PROPRIETOR**
 State full name and address of the Registered Proprietors as shown on the Certificate of Title and the address / addresses to which future Notices can be sent.
3. **LOCAL GOVERNMENT / PUBLIC AUTHORITY**
 State the name of the Local Government or the Public Authority preparing and lodging this notification.
4. **FACTOR AFFECTING THE USE AND ENJOYMENT OF LAND**
 Describe the factor affecting the use or enjoyment of land.
5. **ATTESTATION OF LOCAL GOVERNMENT / PUBLIC AUTHORITY**
 To be attested in the manner prescribed by the Local Government Act or as prescribed by the Act constituting the Public Authority.
6. **REGISTERED PROPRIETOR'S EXECUTION**
 A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult Person. The full name, address and occupation of the witness must be stated.



EXAMINED

OFFICE USE ONLY

NOTIFICATION

LODGED BY ORACLE SURVEYS PTY LTD

ADDRESS PO BOX 668 VICTORIA PARK WA 6979

PHONE No. 9470 1888

FAX No. 9470 1333

REFERENCE No. Great Northern Highway Bindoon

ISSUING BOX No. 999L

PREPARED BY ORACLE SURVEYS

ADDRESS PO BOX 668 VICTORIA PARK WA 6979

PHONE No. 9470 1888

FAX No. 9470 1333

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN LODGING PARTY

TITLES, LEASES, DECLARATIONS ETC LODGED HERewith

1. _____	Received Items
2. _____	Nos.
3. _____	
4. _____	
5. _____	
6. _____	Receiving Clerk

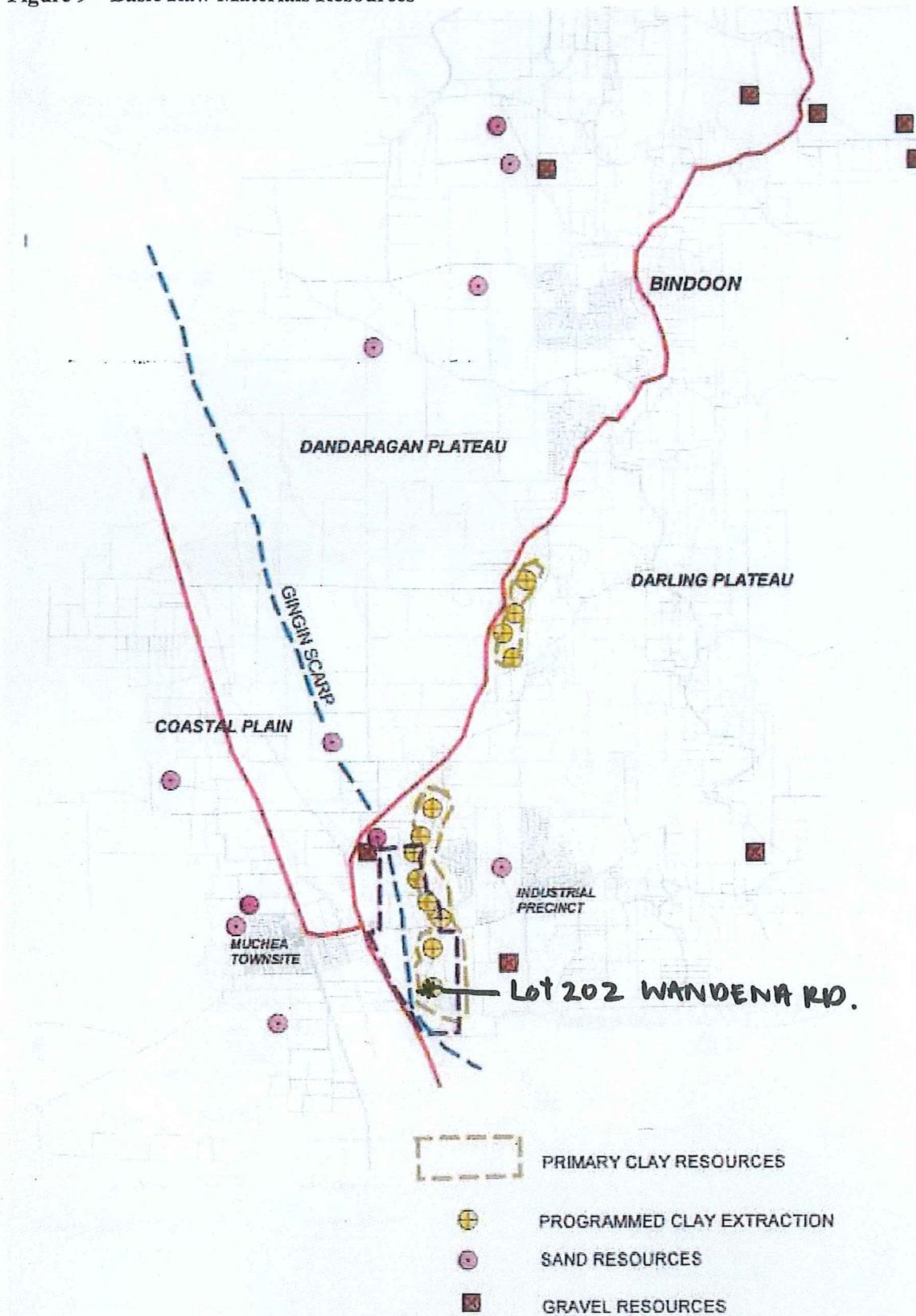
Lodged pursuant to the provisions of the *TRANSFER OF LAND ACT 1893* as amended on the day and time shown above and particulars entered in the Register.

LOT 202 WANDENA ROAD, MUCHEA



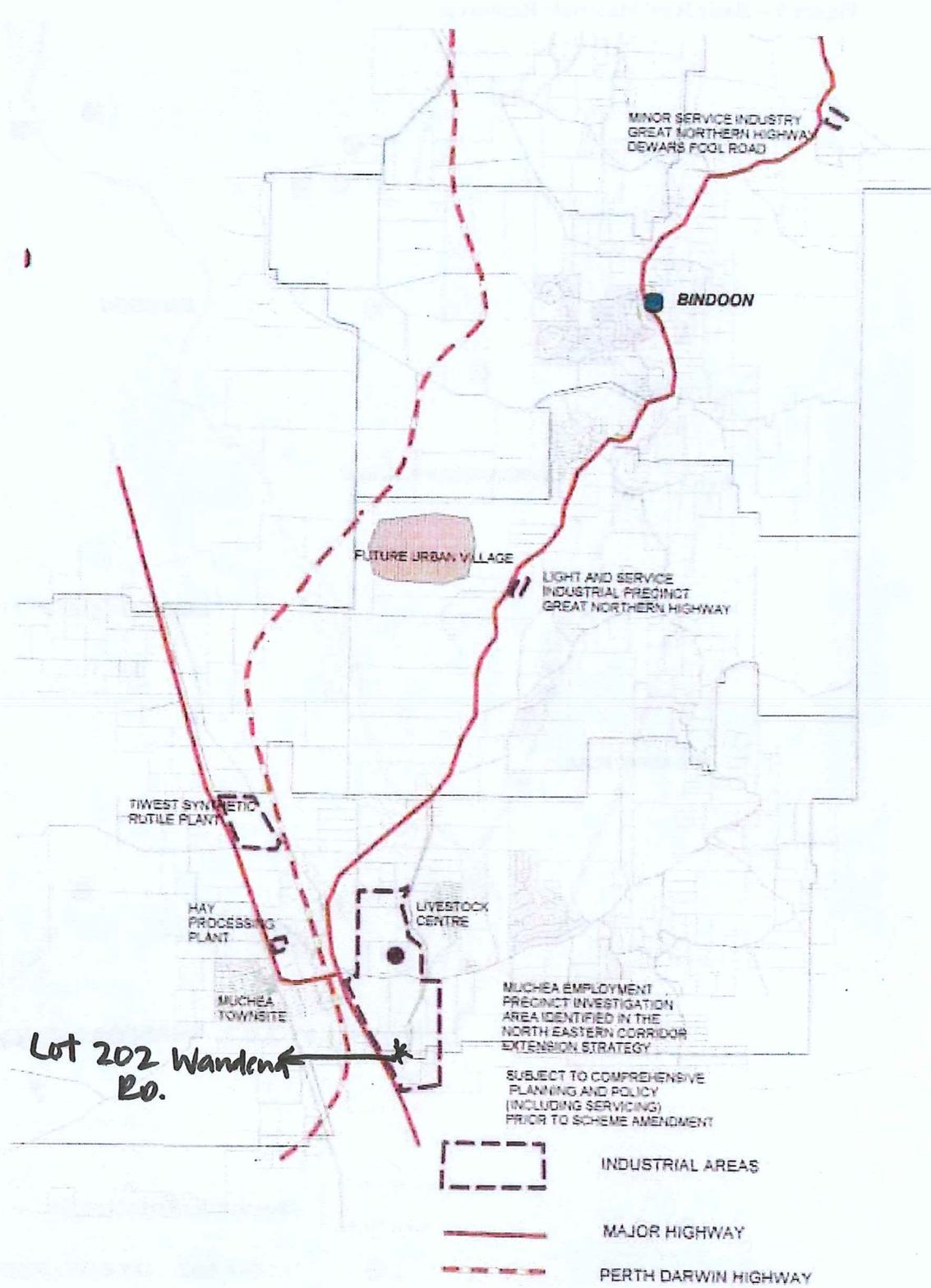
Shire of Chittering – Local Planning Strategy, 2001 - 2015

Figure 9 – Basic Raw Materials Resources



Shire of Chittering – Local Planning Strategy, 2001 - 2015

Figure 10 – Industrial Employment Nodes



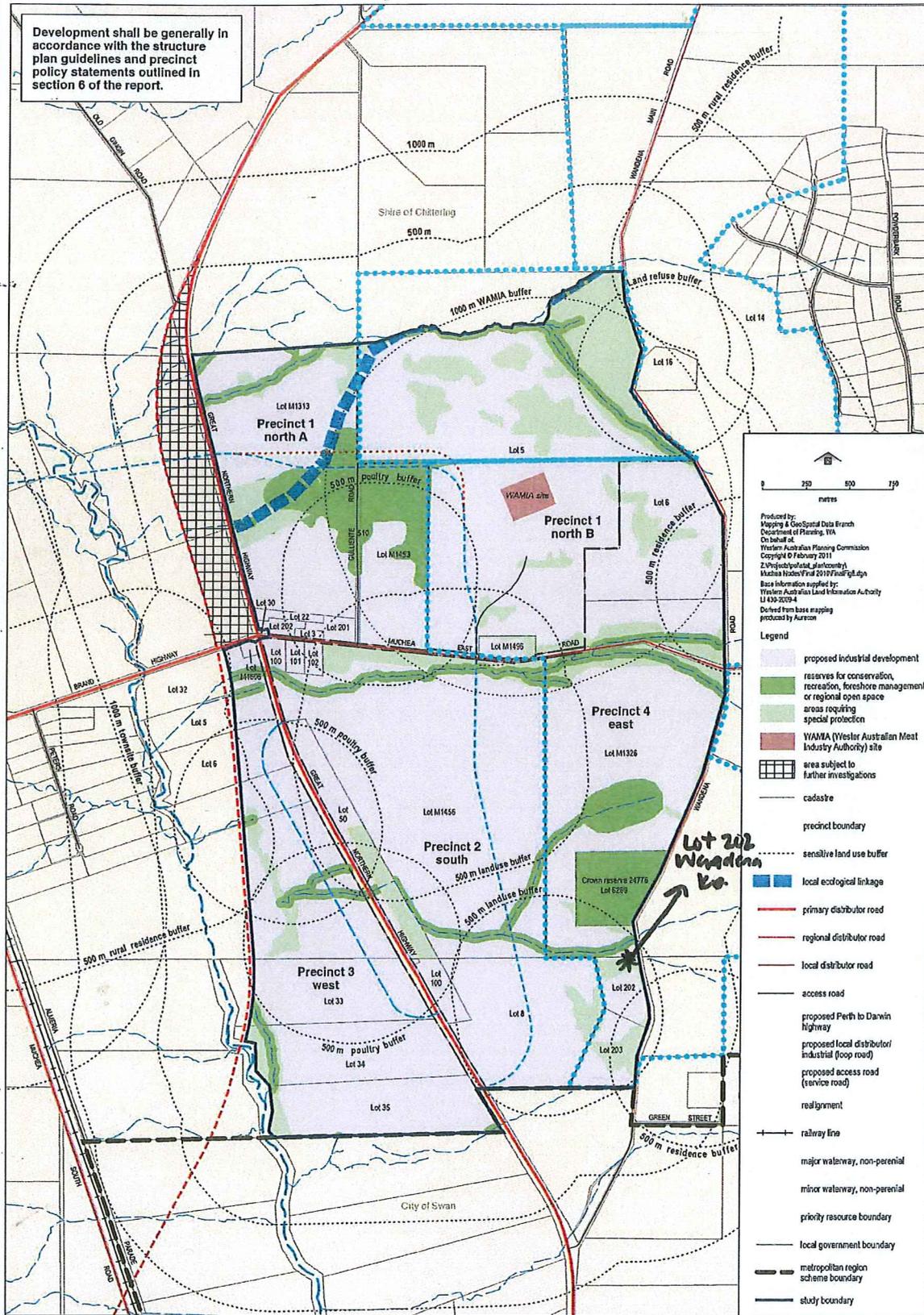


Figure 8: Structure plan

Item 9.1.3
Attachment 4

Planning Officer
Development Services
6177 Great Northern Highway,
PO Box 70 BINDOON WA 6502

**RE: TO CONVEY THE SUPPORT TOWARDS THE PROPOSED REHABILITATION ACTIVITY ON LOT 202
WANDENA ROAD, MUCHEA BY SWAN INDUSTRIAL DEVELOPMENTS**

I hereby write this letter to of inform my support towards the proposed rehabilitation of the clay pit and the nearby landform on Lot 202, Wandena Road, Muchea (site) with crushed and screened clean used building materials.

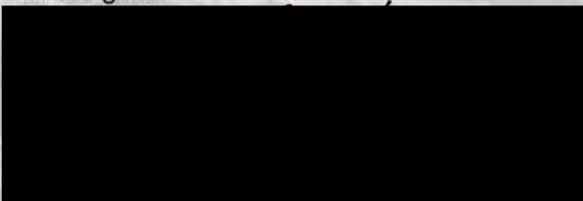
Swan Industrial Developments have notified me of their intention to cart clean building and demolition materials to the site for crushing and screening before placing the processed materials in compacted layers to fill the void. After completing the rehabilitation of the void it is understood that the adjacent landscape will be filled in a similar manner to form well graded hardstand that may service future industrial developments in the area.

It is understood that the above process will include the use of heavy machinery such as jaw crusher, screening plant, front end loader, excavator, tip trucks and water truck. The material is expected to be carted in tri-axel semi tippers with 3 or 4 staff managing the operations within the site. The normal operating hours are informed to be as Monday to Friday 7:00 am to 5:00 pm and Saturdays 7:00 am to 12:00 noon.

The site was used for clay extraction in the recent past and the potential impact of the proposed site operations on the surrounding amenity during the proposed activity is understood. The Project Manager of Swan Industrial Developments Jadd Brown has assured that appropriate environmental controls will be in place to ensure minimum impact by noise and dust due to the proposed activity. Any grievances caused due to the operations will be conveyed to Jadd Brown and as such we are confident of reaching amicable solutions to prevent any reoccurrence.

The occupiers in this residence including myself reaffirm our support to the proposed activity and believe that the rehabilitated landform would be beneficial and complimentary to the objectives of the Muchea Employment Node.

Kind Regards



Date 8/4/2015.

SHIRE OF CHITTERING
RECEIVED
13 APR 2015

Officer... *EMDS*
File... *A 3223*
Ref... *J 155837*

Lot 202 Wandena Road, Muchea – Scheme Amendment Initiation

Pictures from Site Visit (8/7/2015)



Property owner's planting of tree's and 'rehabilitation' of clay extraction scaring



Property owner's planting of tree's and 'rehabilitation' of clay extraction scaring



View north from south west of side of clay pit – note steep embankment



View of south east corner of side of clay pit – note steep embankment



View from north west boundary of claypit looking east towards Wandena Road



View from western fire break towards nearest property



View from north west boundary of property and edge of clay pit looking south

Summary of Proposed Business

I run a small business "Poo 2 You" and deliver bagged products direct to the public and a couple of retail outlets. I currently supply three products, sheep manure, cow manure and **fully composted** chicken manure.

I bag all the products myself using a small portable bagging machine which is loaded using a skid steer. The bagging machine consists of a 2 cubic metre hopper with a rubber conveyor belt at its base. This belt drops the product into a bag held by the operator who then seals the bag by means of a bag closing sewing machine. The bags are then delivered to the customer using a ute and trailer.

I work alone the majority of the time but during busy periods may require the help of another person on a casual basis. My normal hours of operation are between 7 a.m. and 6 p.m.

The maximum amount delivered in any given day would be 60 cubic metres of manure and this would be transferred and stored inside the shed.

When the word manure is mentioned people automatically think of smell, flies and mess but managed correctly this is simply not the case. I will aim to address any concerns that the Planning/Health Department may have in relation to the following areas.

Odour/Flies/Dust/Groundwater Contamination/Noise/Increased Traffic.

Proposed Developments.

Shed and Concrete Pad

I propose to erect a 30 metre x 20 metre x 4 metre steel shed in the position shown on the plan. This is to have a sliding door at the front and rear and a personnel door along with 6 whirlygigs for ventilation. The shed will have a concrete floor as well as having a concrete pad 10 metres deep along the front of the shed. This pad will slope to drainage points where excess rainwater will be collected in a tank.

Driveway

I propose to lay a driveway constructed from a suitable material which will run from the entry gate and pass around the rear of the shed then meet back up with itself as shown on the plans. It will also be necessary to have a further pad constructed from the same material as the driveway located directly in front of the concrete pad. This driveway and pad will make access easy for the delivery vehicle.

Noise/Hours of Operation.

Hours of operation would be Monday to Saturday 7 a.m. to 6 p.m. However a large degree of my time is spent on deliveries, meaning bagging would probably only occur 2 or 3 days per week.

The only sources of noise are the skid steer and a small compressor on the bagging machine. This compressor runs for roughly 90 seconds 3 times per hour whilst the bagging machine is being operated.

Increased Traffic.

I would anticipate needing to bring on average less than 2 semi loads per week onto the site. To reduce my transport costs these would probably both be on the same day.

Deliveries from the property would be made using a ute and trailer which would come and go up to 3 times per day.

Whilst the business is primarily delivery based, it would be advantageous if an occasional customer could with prior arrangement collect from the property.

Ground Water Contamination.

Manure being delivered to the site will be tipped onto a concrete pad at the front of the shed then transferred inside using a bobcat. The concrete pad will be sloped to direct any rainwater towards four drainage points. This water will then flow to a small tank below ground level fitted with a pump with a float switch. When the pump is activated the water will then be pumped into a larger above ground tank. This water will then be drawn off and used for dust suppression during the bagging process. This will involve spraying a small amount of water onto the manure held in the bagging hopper.

See enclosed plans

Odour.

The sheep manure and cow manure that I use have a very low moisture content as they have both been stored at the feedlots for a period of months before I bag them. This results in manures that are very low in odour.

Once the manure is delivered via the truck onto the concrete slab at the front of the shed it will be transferred inside using the bobcat. This will prevent it from getting wet and creating an odour.

The composted chicken manure is a compost and not a manure and as such is totally inert and only has a very slight earthy odour even when wet.

Flies.

I have been involved with manure for over 6 years and it is my experience that flies will only breed in wet or moist manure. As I mentioned under the odour heading, the manure I use is dry. The fact that it would be stored inside the shed would prevent it getting wet hence no flies.

All surfaces that come into contact with manure would be concrete making cleaning of small residual amounts easy.

Dust.

All areas that have regular production traffic will be concreted allowing easy cleaning and preventing ground erosion and dust.

Summary.

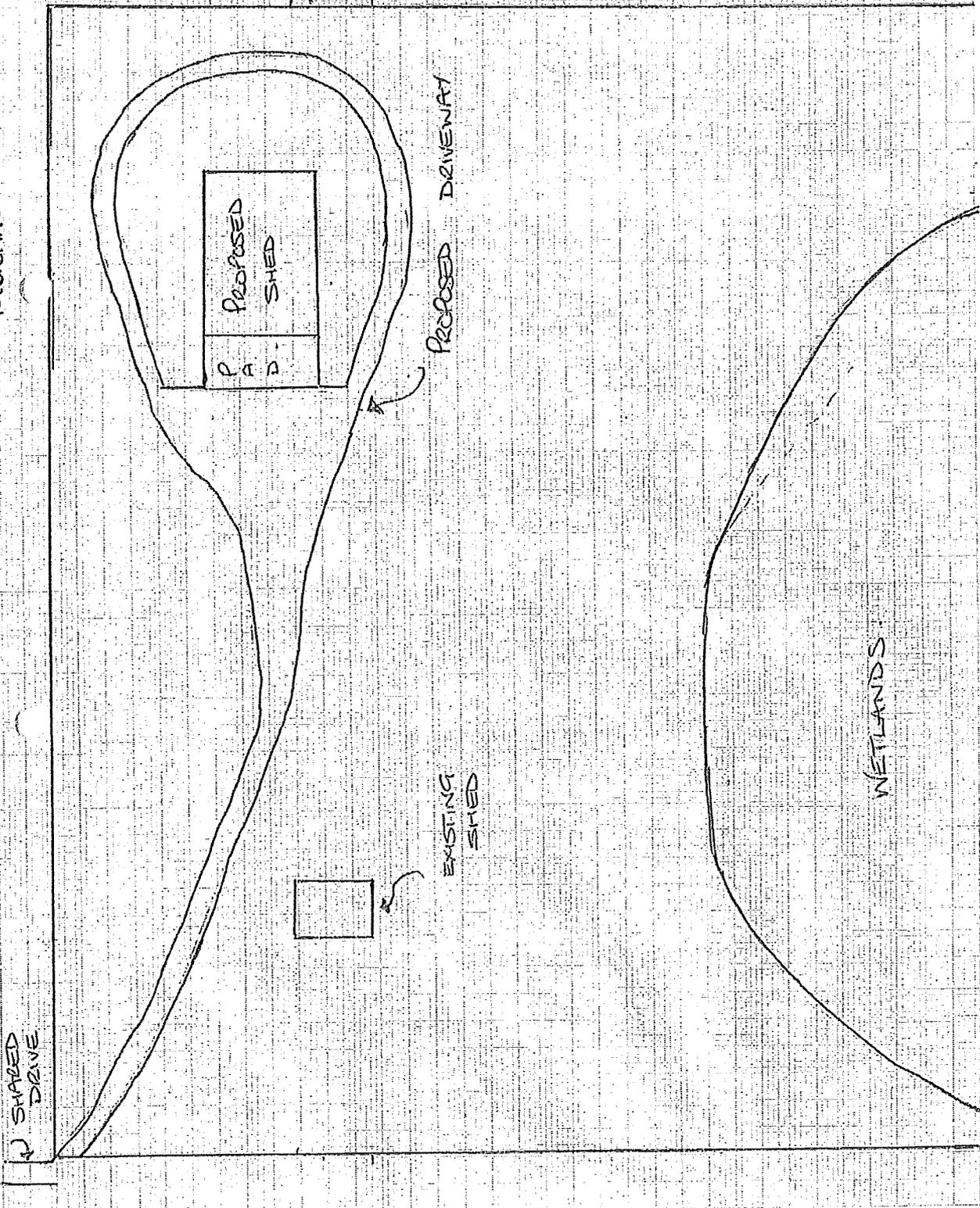
I am 100% confident that this operation could proceed without any negative effects on either neighbours or the environment.

Whilst I have made every effort to cover all potential issues relating to the bagging of manure at this site I am open to further suggestions from planning officers.

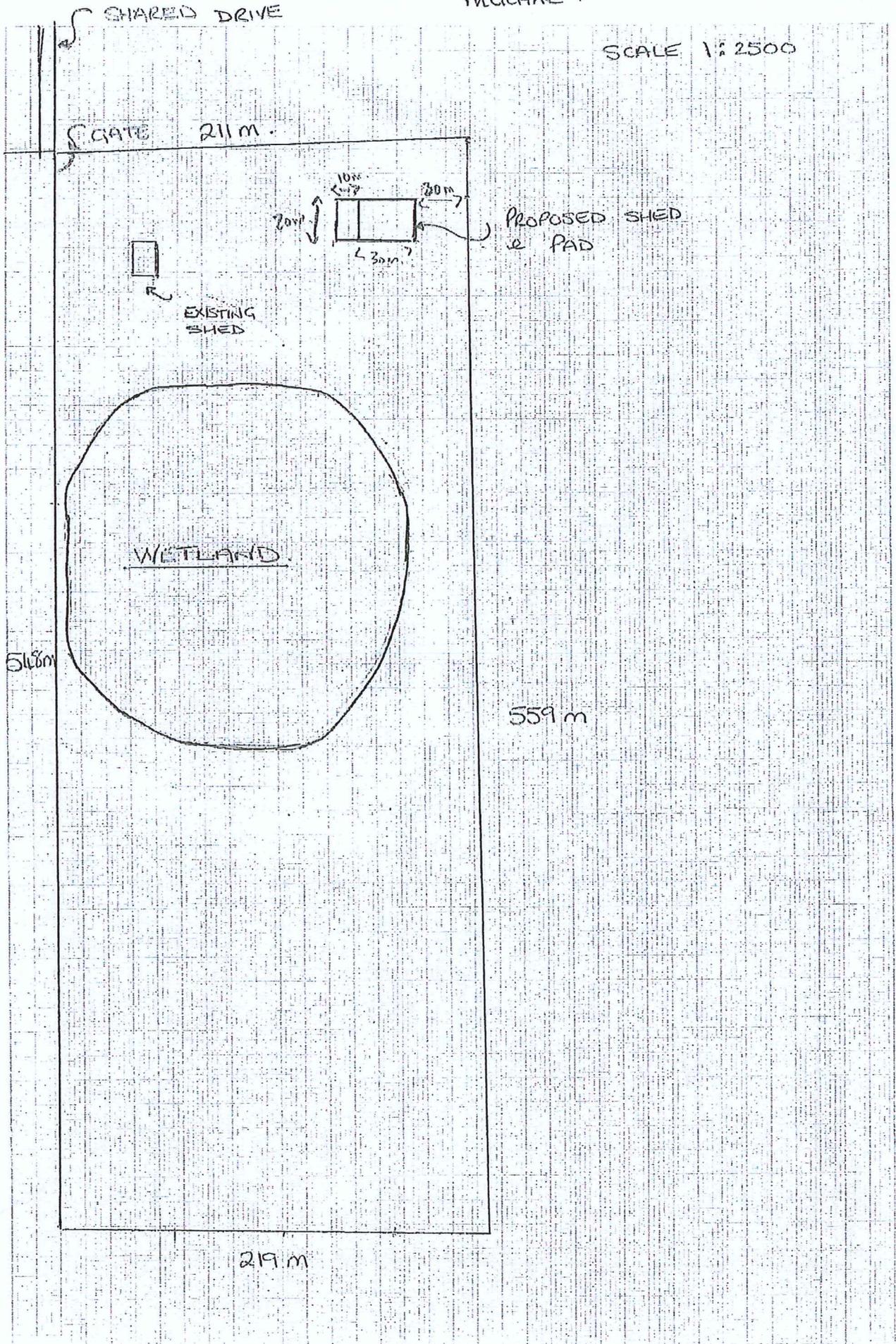
I am fully aware that if permission is granted for this project, it could also be revoked should the procedures not be strictly adhered to. This would render me without a business or income, hence it would be in my best interest to ensure a clean operation.

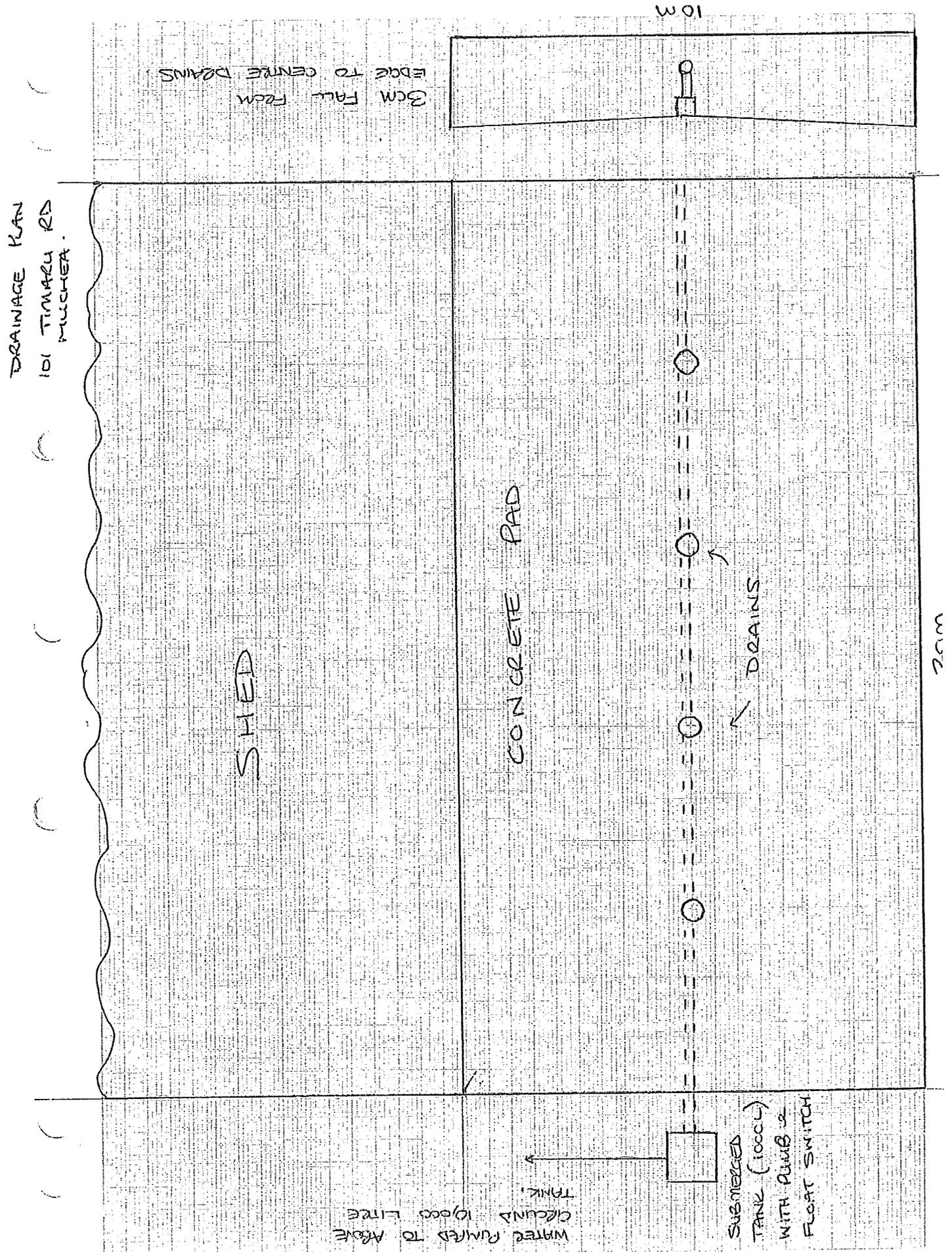
101 TIMARU RD
MUCHAE

SCALE 1:1000

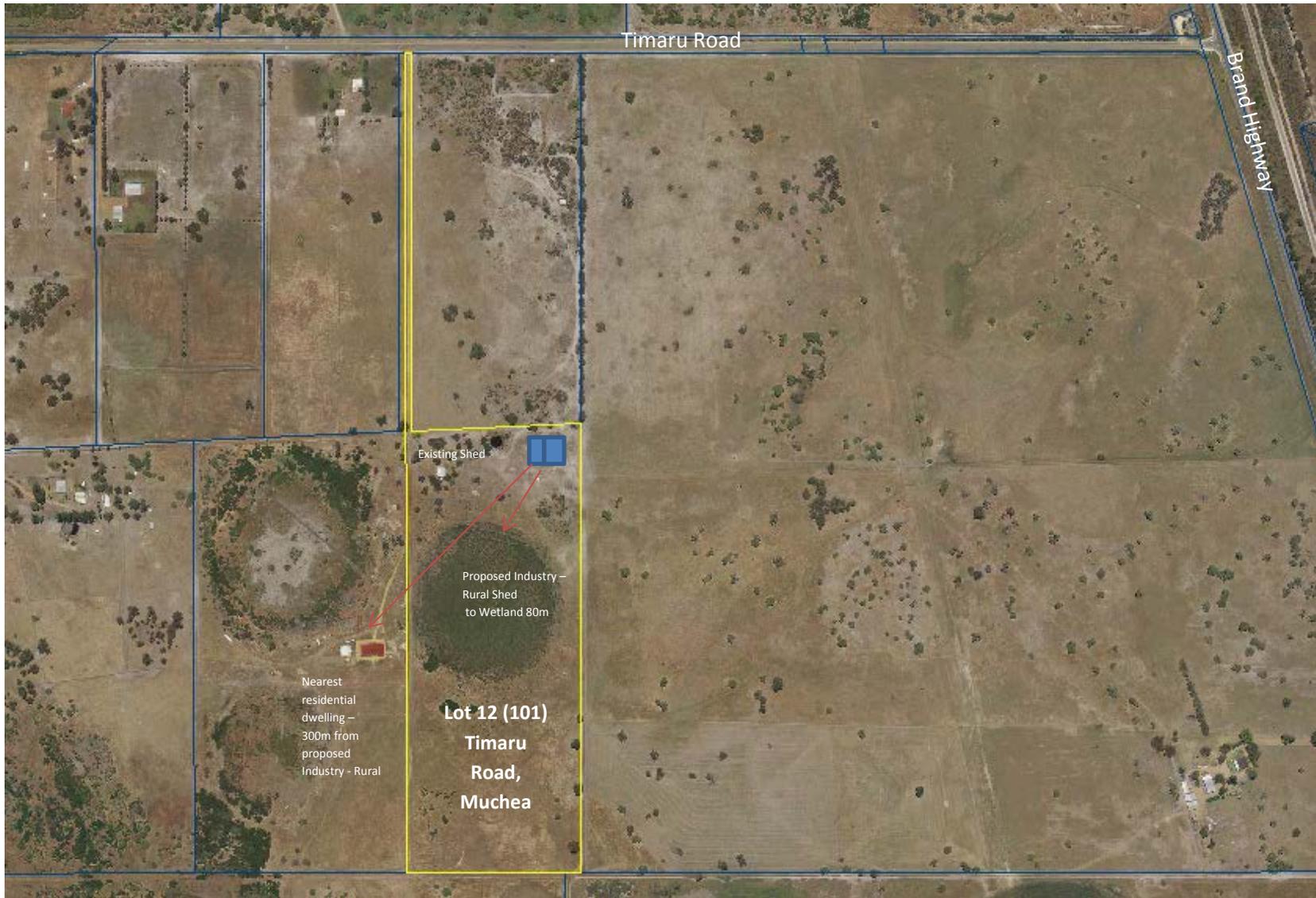


101 TIMARU RD
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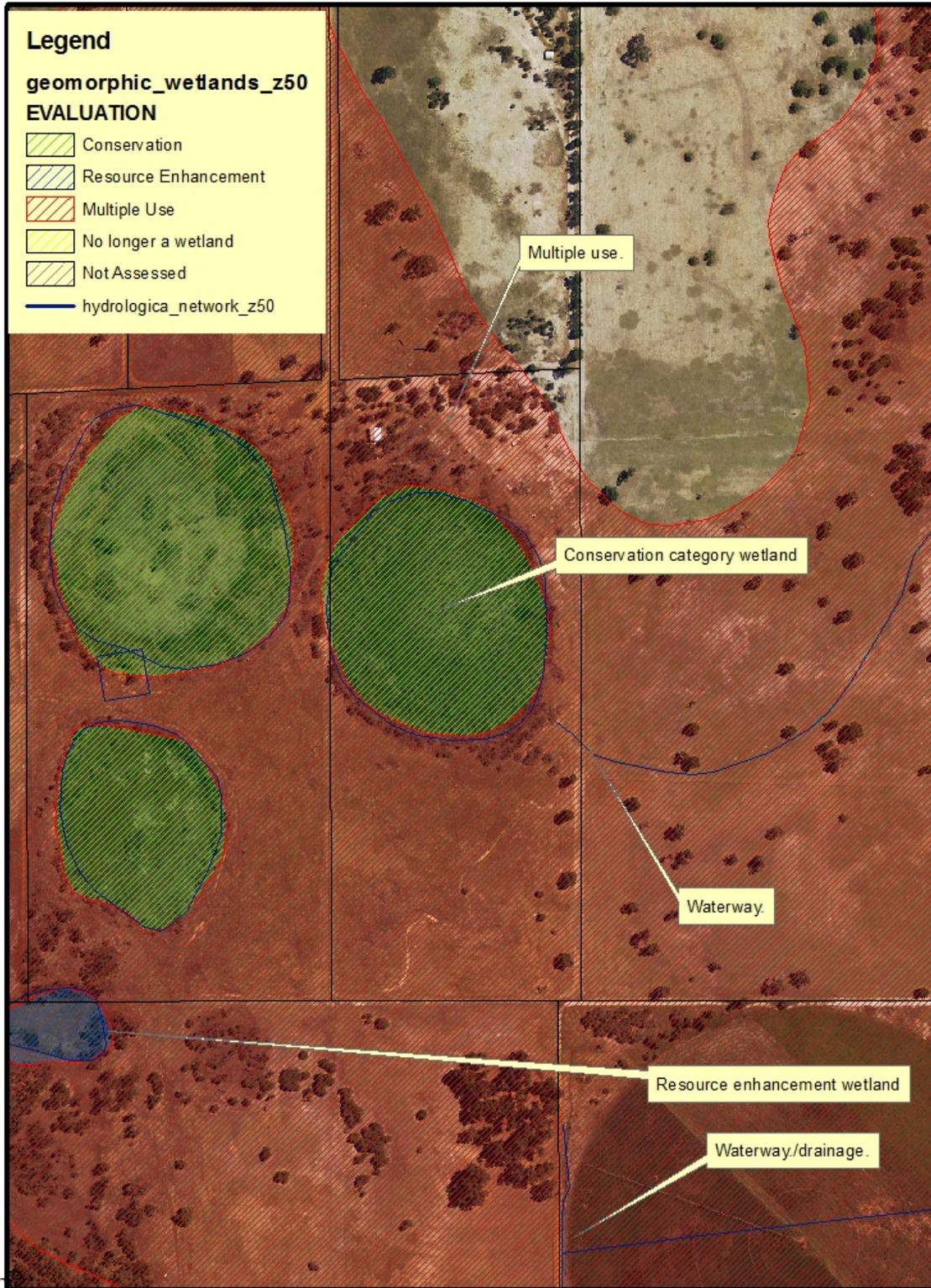


Lot 12 (No. 101) Timaru Road, Muchea, Proposed Industry – Rural Bagging of Manure and Compost



Lot 12 (101) Timaru Road, Muchea

Plan indicating the Multiple Use/Conservation Category Wetland

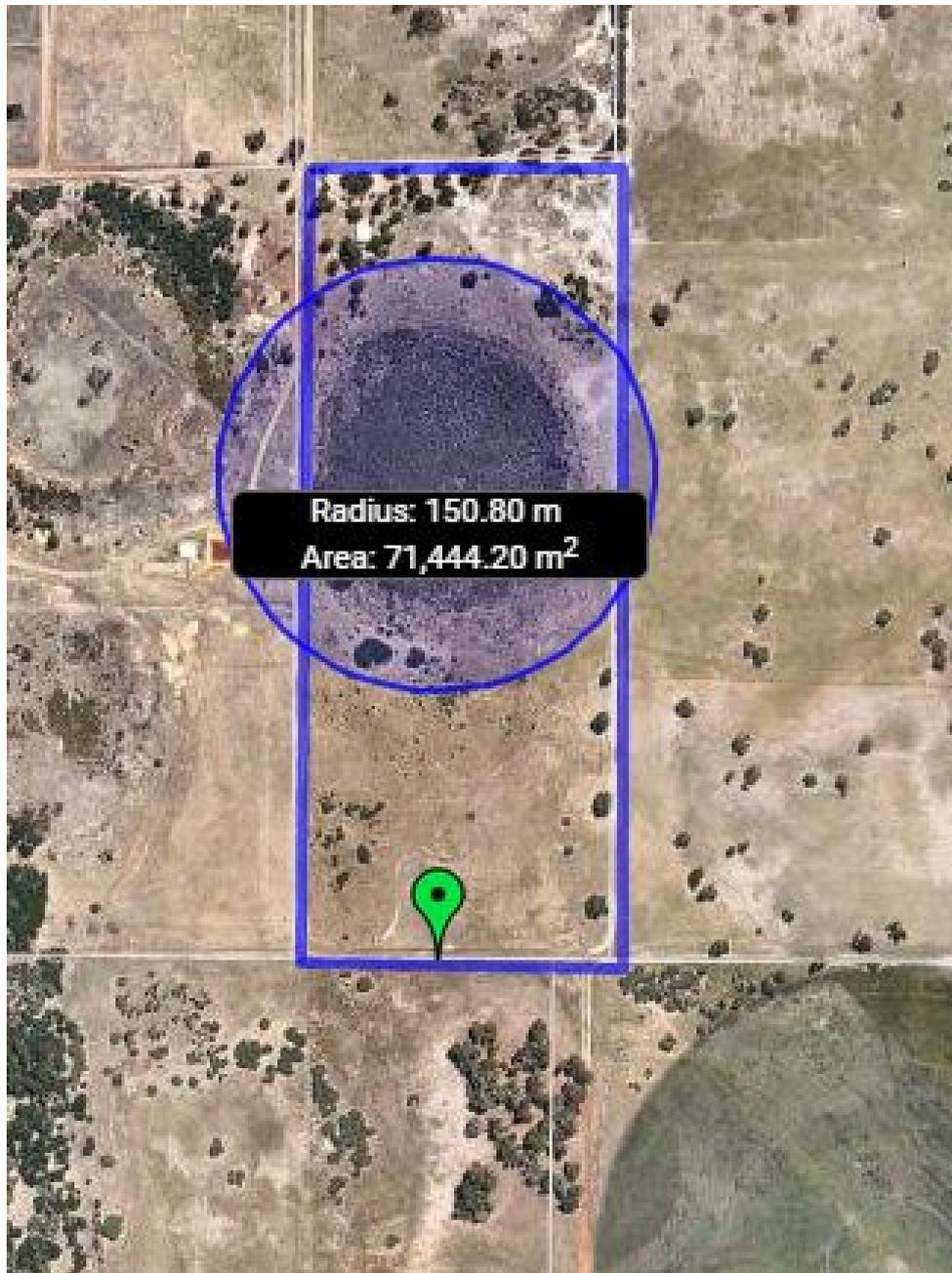


101 Timaru Rd



Lot 12 (101) Timaru Road, Muchea

Plan indicating 50m radius setback from Conservation Category Wetland



Neighbourhood Consultation, Lot 12 (No. 101) Timaru Road, Muchea



 Lot 12 Timaru Road

 Properties which referral letter was sent to.

Agency Submissions

Submission No.	Comment	Applicants Responses	Shire Officer Response
<p>1. Chittering Land Care</p>	<p>The Ellen Brockman Integrated Catchment Group in collaboration with the Chittering Landcare Group has reviewed the above proposal and makes the following comments and recommendations:</p>		
	<p>The development is appropriately setback from the wetland area.</p>		<p>Noted and acknowledged.</p>
	<p>The proposal to handle the sheep and cattle manure by delivery to a concrete pad and then transference by bobcat to the shed interior will be suitable to prevent contact with the sandy soils of the Ellen Brook palusplain which can lead to contamination of the high water table. It appears that the proponent has understood this concept and has taken steps to ensure that the risk is minimised. However, in circumstances where rainwater may wash any residual manures from the outdoor concrete pad into the holding tanks the Group suggests that the tanks will need to be large enough to contain a seasonal downpour. This can be up to 25 mm in a very short period of time.</p>	<p>It has been agreed that two 10,000 litre tanks would need to be installed aswell as a clay lined vegetated pit. Rosanna from Landcare has kindly offered to advise on this swale.</p>	<p>Noted and acknowledged.</p>
	<p>The use of manures, more importantly chicken manure (although it is understood that the manure for this proposal is composted) needs to be treated with care on the Swan Coastal Plain. The Stable Fly Action Group recommendations to prevent breeding of these Category 3 Pests prohibits the use of raw poultry manures in the Shire of Chittering. As the proposal is not a likely contributor it is suggested to alleviate any concern from neighbours, that a Williams Trap be erected onsite and regularly inspected to ensure that stableflys are not increasing. Advice on a Williams Trap is attached to this letter.</p>	<p>Dr David Cook the entymologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.</p>	<p>Noted and acknowledged. Refer to Condition No. 11</p>
<p>2. Department of Water</p>	<p>DoW Recommends that the proponent liaise with the Department of Parks and Wildlife on sufficient separation distances between the proposal and the wetland.</p>		<p>Noted.</p>

Public Submissions

Submission No.	Comment	Applicants Responses	Shire Officer Response
1	We are replying with our concerns re your recent letter to use re the proposed Industry - Rural, Bagging of Manure and Compost Our understanding is that this is not an industry/commercial area.		Noted and acknowledged. Lot 12 Timaru Road is zoned 'Agricultural Resource' with the land use 'Industry - Rural' considered a 'D' use which means that the use is not permitted unless the Local Government has exercised its discretion by granting Planning Approval. Planning Approval is subject to the Shire of Chittering being satisfied that the proposed use will not have any undue affect on the surrounding amenity.
	We strongly oppose this proposal List of concerns from use:		Noted.
	1. We are concerned with the condition of the road that it will not stand up to heavy vehicle access.	I am proposing to bring in on average less than 2 semi loads per week and would suggest that this does not amount to a great increase in traffic. There are concerns that the shared driveway will not handle heavy vehicles so it is my intention to improve the condition of this track to make it suitable. I would be interested to know if any persons in the street have trucks.	Noted and acknowledged. Lot 12 Timaru Road has been designed to a rural bitumised standard and is capable of handling the proposed trucks. The frequency of the trucks proposed is considered not to be above and beyond what the road would normally experience and what it is designed for.
	2. Re the two trucks, we don't think this would be viable enough to run a manure business. Thus the trucks would increase and cause more stress and problems to our street.	Two 30 cubic metre trailers would provide enough manure of 1000 60 litre bags or 706 85 litre bags. These are the two bag sizes that I use. My busiest week ever would have been approx. 800 bags.	Noted. Should planning approval be granted for this use it is subject to the information provided in the application as well as conditions of approval. No additional truck movements can be undertaken without the approval of the Shire of Chittering.
	3. The young people next to this property have just built a new \$400,000 HOME would anyone at the Shire like this smelly composting business next to their new home, most of the people in Tamaru road are here for the rural environment, not for a commercial business such as this.	THIS IS NOT A COMPOSTING BUSINESS! The compost that I bag is fully prepared by my supplier and only has a very slight earthy odour. The sheep and cow manure have a low moisture content so are low in odour.	Noted and acknowledged. The dwelling mentioned is 300m from the proposed shed where the product will be stored. It is considered that the proposed business is small enough in scale, and has identified a number of odour, fly, dust management measures to ensure minimal impact if any at all on surrounding properties. It should be noted that this is a rural area where people keep livestock and horses and other type rural uses which also create similar odours.
	4. This will definitely have an effect on the values of all properties in Timaru Road. I would like to debate this at a meeting with the Council and ask if any councillor's would like this composting set up, next door to them, this type of business should be located in the commercial area of the Shire.	THIS IS NOT A COMPOSTING SET UP! The shed where all business activity will be undertaken has been planned in a position where it is out of view from any properties. The only way anybody will be aware of the planned activity will be via prior knowledge or entering the property itself.	Noted and acknowledged. Property devaluation is not a planning consideration.
	5. Wash down, this must be one of the biggest concerns as manure smells more when wet and also breeds flies. People use ground water for house hold use, this will definitely have an effect on groundwater, and I have been involved in bagging and delivering manure. 25 years ago and I know what is involved. And there was problems back then with smell and wash down areas. There has to be run off from the concrete pad/shed into ground water, the area has to be hosed down in some way, daily/weekly. The underground drains will block with manure, stopping the underground tank system from being efficient.	I am not proposing to hose down this area. Due to the dry nature of the products a more effective way of cleaning would be either sweeping or blowing it into a corner then taking into the shed. The drains will be covered prior to manure being delivered with the aim of preventing manure blocking the drainage system.	Noted and acknowledged. The applicant has detailed that it will be processing the stockpiles as they are delivered, which includes them being bagged stored in an enclosed shed and then moved off site. Any waste will be removed off site or diverted into holding tanks. the low scale nature of the remaining product is considered not to be above or beyond what is standard rural lots in this area.
	6. This area has a high water table and shed would be very close to the wetlands.	The shed would be built on sand pad to raise it above the water table. It would also have a concrete floor to prevent any contamination of ground water.	Noted and acknowledged. Refer to Department of Water and Department of Environmental Regulations Comments in the accompanying Attachment No. 4 - Schedule of Submissions
	7. Wetting down manure will definitely cause fly breeding problems in the area.	The only time manure will be wet down is when it is in the bagging machine to suppress dust during the bagging process. Flies will not be able to breed in it once it is bagged.	Noted. Refer to applicants response.

<p>8. Dust, the access road into the property, is this all going to be concrete for the semi - truck to come in off of Timaru Road?</p>	<p>No but it will be renovated and made suitable for the delivery vehicles</p>	<p>Noted and acknowledged. The accessway will be compacted and upgraded as a condition should Council grant approval.</p>
<p>9. I am not against people trying to make a living, but if this person/company want to set up this type business, as I said before it should be in the business centre, with other companies.</p>		<p>Noted and acknowledged. Lot 12 Timaru Road is zoned 'Agricultural Resource' with the land use 'Industry - Rural' being a 'D' and is subject to Councils approval. It is however considered that this use is an appropriate type use for this zone on the basis that accurate management measures are in place to ensure minimal impact to surrounding landholdings</p>
<p>10. I would like to ask the question as to why 2 houses in Timaru Road have only been notified of the composting business, I have told other residents and they are concerned as well about this, is Council trying to push this through without going about it the right way, can we please have something in writing from the Shire of the procedures for this type of notification?</p>		<p>The application was advertised in accordance with the provision of Section 9.4.3 of the Shire of Chittering's TPS No. 6 which states that 'Local Government may give notice or require the applicant to give notice or decide to give notice of an application for Planning Approval in one or more of the following ways'- (a) notice of the proposed use or development served on nearby owners and occupiers who, in the opinion of the Local Government, are likely to be affected by the granting of Planning Approval, stating that submissions may be made to the Local Government by a specified date not less than fourteen days from the day the notice is served. Letters were sent to nearby residents up to 900m from Lot 12 Timaru Road, Muchea (refer to Attachment No.3 of Schedule of Submissions.</p>
<p>11. Also isn't there normally a notification sign erected at the front of the property for people to view to make comment.</p>		<p>In accordance with section 9.4.3 of TPS6 it was considered that a sign on site was not required for this application.</p>

Submission No.	Comment	Applicants Reponses	Shire Officer Response
2	I write with regard to the proposal for a manure processing plant on Timaru Road. As a resident and owner of property in Timaru Road Muchea, I wish to oppose this type of industry proposal.		Noted.
	I have the following concerns despite the proposal put forward by the prospective business.		
	1. The summary in the proposal states that a maximum amount that will be delivered on any given day would be 60 cubic metres, this would in fact equate to 2 semi loads a day. I do not believe that our road is equipped to take such heavy traffic, the effect of heaving compression braking will degrade the already aging bitumen road. Not to mention the noise associated with deceleration and acceleration.	I am proposing to bring in on average less than 2 semi loads per week and would suggest that this does not amount to a great increase in traffic. There are concerns that the shared driveway will not handle heavy vehicles so it is my intention to improve the condition of this track to make it suitable. I would be interested to know if any persons in the street have trucks.	Noted and acknowledged. Refer to comments above regarding minimal road impact from minor truck usage.
	2. The proposed development to the driveway does not take into consideration the battle-axe access driveway. This would need to be upgraded to prevent dust and air pollution.	It is my intention to improve battle axe access driveway to accommodate delivery vehicles.	Noted and acknowledged. As detailed above should Council grant approval a condition would be imposed requiring the crossover, accessway and delivery area to be upgraded to a suitable standard to be approved by the Shire of Chittering.
	3. Water contamination. Despite the drains and tanks that the business will provide there will be run off from excessive rainwater, this will contaminate our groundwater. Faeces carry large amounts of bacteria eg. E.coli and in a concentrated stockpile this can only be increased. There is a documented wetland on the site as well as a natural soak, so ground water is not far from the surface.	The only area which will be in contact with both manure and rainwater would be the concrete pad at the front of the shed. There would be a fall on this pad directing all rainwater towards the drains so rainwater would never run off but would be collected in the tanks	Noted and acknowledged. This application and management measures was referred to the Department of Water and Department of Environmental Regulation which provided the following comment (refer to Department of Water's response above. No response was given by the Department of Environmental Regulation. It is considered that the minimal amount of waste not bagged as part of the production will be disposed off through drainage which will end up in holding tanks required to be approved by the Department of Health. It is considered that it is very unlikely that the water table would be affected by this proposal.
	4. Manure always has an odour, whether dry or wet and attracts flies. Feed lots aren't covered so any manure sourced from a feedlot will be wet. Flies are unpleasant for all concerned and spread disease. Stock become very stressed and agitated when there are excessive flies. This can affect their weight, personality and cause bleeding sores. The proposal mentions cow manure, which remains moist for a long time.	The feed lots are covered! The manure is dry! The cow manure is very dry and powder like. This is a result of the cattle being fed on pellets.	Noted and acknowledged. Should Council grant approval for tis application it would be subject to the applicant complying with the management plan which includes the control of flies, should it be determined that there is a fly issue and non compliance with the planning approval, the landowner can be prosecuted under the Planning and Development Act 2005. A number of expert authorities were consulted regarding the fly concern and it was determined that this proposed use would not create additional flies above what is normally experienced within this agricultural area.
	5. Road verge advertising (if allowed) would depreciate the property value along the street, as many in fact the very existence of this business on our road. We are a rural environment with residents. Land owners operating a business from their principal place of residence can be tolerated, however this proposal has no mention of the property being a place of residence and therefore is more suited to a business district/industrial area	I have no intention to erect any signage or draw any attention to the proposed business. One of the attractions to this particular property was its secluded positioning.	Noted. Any signage proposed would require a separate application for planning approval.
	6. I have a young child, who I hope will be able to enjoy the outdoors and lifestyle that living away from industry and city life offers. One industry property only promotes more, and we don't want our street turned into an industrial area. Other industrial areas around Gingin and Bullsbrook still have ample room to accommodate such businesses.	I don't believe the proposal will have any impact on the rural appeal of the street and would not wish to see great industrial activity. This is a rural business and would suit a rural area.	Noted. It is considered this land use is consistent with its rural surroundings.
	I would appreciate any updates on the process of this proposal. Thank you for your time.		Noted.

Submission No.	Comment	Applicants Reponses	Shire Officer Response
3	Thank you for your letter and proposal informing us of the application to conduct a manure bagging business and the opportunity to comment on the proposal. We have outlined our reasons why this proposal should be rejected: This is a rural residential street and feel this business should be located in an industrial area.	I don't believe the proposal will have any impact on the rural appeal of the street and would not wish to see great industrial activity. This is a rural business and would suit a rural area.	Noted and acknowledged. Lot 12 Timaru Road is zoned 'Agricultural Resource' with the land use 'Industry - Rural' considered a 'D' use which means that the use is not permitted unless the Local Government has exercised its discretion by granting Planning Approval. Properties along Timaru Road are not zoned 'Rural Residential'
	The owner has not indicate that he would be living in our street. We do support local businesses run by local residents.	No I don't have any intention to live in the street at the moment .	Noted and acknowledged.
	We do not read any back up plan for break downs which in turn means wet manure.	The only breakdown which would leave manure open to the elements would be the bobcat (skid steer). Without this piece of machinery I can't operate so it would be repaired or a replacement hired in as a matter of urgency. If the application was successful the health department has put a condition in that manure will not be delivered when rainfall is expected to be moderate to heavy.	Noted. Should Council grant planning approval, it is recommended that a condition be imposed requiring no exposed manure while it is raining, this would include no additional deliveries until the weather clears.
	We already have the odour on Loc 400 from the chicken farm on Airfield road and the same from Great Brand Highway at Loc 107, so we do not need more.		Noted and acknowledged. It is considered that this proposed land use is much less likely to create odour issues than the closely located chicken farm, this is due to product variation, scale and product containment.
	Always a concern semi trailers turning off the bitumen on summer days.	Two trailers per week!	Noted and acknowledged. Lot 12 Timaru Road is located 1km from the intersection of Brand Highway which is a relatively short distance for the vehicles to deliver the product. It is considered that truck movements are minimal enough not to create an inconvenience or risk to surrounding landowners.
	We have talked to the residents on Timaru Road and some have said they have never received the proposal for comment. We only received one but own two farms on the road. This effects all residents on the road.		Noted and acknowledged. Refer to Attachment No. 4. Neighbour Notification. A copy of the application was also available at the Shire office upon enquiry.
	We have family residing in Loc 107 who is an asthmatic with dust and poultry manure being some of elements that trigger an attack. Easterly winds are most prevalent.	Even though the manure is dry I don't believe that it will cause a dust problem as it will be stored inside the shed so out of the wind.	Noted and acknowledged. The manure and compost proposed in this application would be stored in the proposed shed. Minimal poultry manure will be on site.
	Stable (biting) flies have affected our business and affect our business 10 months of the year on Loc 400 therefore stock are removed to Loc 107 in the worst months to give them some relief. We run beef and breed cattle, the calves being seriously affected by the flies. Also educate and breed polocrosse and stock horses which are unable to be handled or ridden in summer at Loc 400. We do not want them at the east end of the road as well. I have videos which I would like the councillors to see and are happy to get them to your office.	Dr David Cook the entymologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	Noted and acknowledged. Refer to applicants response and Condition No. 11.

Submission No.	Comment	Applicants Reponses	Shire Officer Response
4	Thank you for your recent letter informing us of the application to conduct a manure bagging business in our street.		
	We most strenuously object to this proposal for the following reasons:		Noted.
	We already have a problem with biting flies, gardening or sitting outside at certain times of the rear is unpleasant and we feel that this proposal will impact our ability to enjoy our home. Timaru Road is a rural residential community; most of us have stock who are already harassed by biting flies.	Dr David Cook the entomologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	Noted. The specialist that this application was referred to advised that this application is unlikely to create any further fly nuisance than is already experienced in the area.
	We note that the proponent does not plan to live on the property thereby not sharing the conditions he creates. While he plans to start off small, we fell that he would look to expand his business, thereby increasing the potential for our discomfort and diminished enjoyment of our property.	I have considered all negative conditions which could be created by this venture and have forwarded plans and proposals to counter act each one. I would like to grow the business but would not need to make further developments to the property as the proposed shed is large enough to accommodate any increase in business. The only potential negative change would be to the number of trucks coming in but I would be happy to have a realistic cap on vehicles delivering.	Noted. Should Council grant planning approval it will be subject to the proposed application on hand and would be subject to a number of conditions. Any proposed expansion would be subject to separate approval.
	Feedlots are not under cover so we fail to see how manure derived from them can be dry and therefore have no smell or harbour stable fly.	The feedlots are covered!	Noted. The Shire has been advised that the manure is dry when delivered on site. Condition No. 12 stipulates the no deliveries are to be made on days of high wind and/or rain.
	We already have odour from the chicken farm on Brand Highway at Loc 107 and do not need more.		Noted. As this is a rural area animal manure and other agricultural type smells, sounds etc. are considered normal for this area.
	The property under consideration is serviced by a gravel battle-axe road not designed for truck traffic, which would cause pot holes and dust.	The road is already covered in pot holes! It is my intent to repair this track to accommodate delivery vehicles.	Noted. Please refer to comments above.
	We believe this proposal is not suited to a residential street and should be located in an industrial area.		Noted and acknowledged. Lot 12 Timaru Road is zoned 'Agricultural Resource' with the land use 'Industry - Rural' considered a 'D' use which means that the use is not permitted unless the Local Government has exercised its discretion by granting Planning Approval. Properties along Timaru Road are 'Residential'
	We have owned our property sine the original subdivision in 1988 and enjoy the peaceful location and feel, should this proposal go ahead that our enjoyment will be impacted.	The secluded location of the proposed shed and the intended working practices are all aimed at preventing a negative impact on surrounding residences.	Noted. It is considered that should this application be approved, it will not detrimentally impact the sounding amenity above what already exists.
	Property values will also be affected.	I disagree. This is a small operation contained within a shed with minimal increased traffic.	Noted. Please be advised this is not a valid planning consideration in accordance with section 10.2 of TPS6.
We ask that this proposal is rejected.			

Submission No.	Comment	Applicants Reponses	Shire Officer Response
5	<p>We firmly object to the proposed above business on the following concerns:</p> <p>1. Household and biting flies - Flies breed in manure heaps. Manure could be damp or wet when put into a shed and therefore hatch in the shed. No doubt they escape when doors are opened!</p> <p>2. Smell - We are in direct line for the easterly's. There is a certain smell that is derived from compost.</p> <p>3. I do not believe that the maximum amount delivered would be 60 cubic metres indefinitely as much is invested into land and machinery. I feel this could expand into a large business causing further problems.</p> <p>We are a small community, lifestyle and rural pursuits, many children ride ponies on the roads, also bicycles, some people walk or jog. We do not want large trucks all the time on these roads. There is also wildlife, Kangaroos, Emus, Turtles, Bobtails and several other species that cross the roads, we do not want to see them killed.</p> <p>We strongly object to this proposal.</p>	<p>Dr David Cook the entymologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.</p> <p>The compost is produced offsite and once delivered has only a slight earthy smell that would not be detected unless you stuck your nose in it.</p> <p>Yes I would like to grow the business but would be happy to have a realistic cap on the number of delivery vehicles. I would not be looking to make further developments to the site other than those already proposed.</p> <p>Average of two per week!</p>	<p>Noted as per comments above.</p> <p>Noted. It is considered that this application will not contribute any additional smells that are not normally experienced in a rural area. The applicant has detailed management measures to ensure odour mitigation.</p> <p>Noted. Should this application be approved it would be subject to this current application and conditions of approval. Any variation to this would require a separate approval.</p> <p>Noted. As specified by the applicant there are minimal truck movements proposed, approximately 2 per week, this is not considered unusual for rural areas.</p> <p>Noted.</p>

Submission No.	Comment	Applicants Reponses	Shire Officer Response
6	Thank you for your letter and proposal informing us of the application to conduct manure bagging business and the opportunity to comment on the proposal. As we have recently built our family home we feel this business will impact our property value and lifestyle. We feel this type of business would be suited to an industrial area where it would not adversely affect residential homeowners and their families.		Noted.
	We have outlined our reasons why this proposal should be rejected:		
	Environmental Impact		
	We also have livestock on our property and feel that the increase of fly's due to the manure facility would cause harm to our livestock.	Dr David Cook the entymologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	Noted and acknowledged. Should Council grant approval for tis application it would be subject to the applicant complying with the management plan which includes the control of flies, should it be determined that there is a fly issue and non compliance with the planning approval, the landowner can be prosecuted under the Planning and Development Act 2005. A number of expert authorities were consulted regarding the fly concern and it was determined that this proposed use would not create additional flies above what is normally experienced within this agricultural area.
	Smell - The assertion that odour will be controlled by storing the manure in a shed is hard to justify, when the odour from the chicken farm on Brand Highway impacts our property at a distance of 3.5 km, let alone next door.	Chicken manure is far more pungent than any either sheep or cow. The reason the chook manure smells so much is because it is fresh and moist however my manures are dry and aged.	Noted. It is considered that this application will not contribute any additional smells that are not normally experienced in a rural area. The applicant has detailed management measures to ensure odour mitigation.
	Dust - As seen on the proposal, the only area that would be sealed would be the area in the front of the shed. Heavy vehicles entering and existing the property will create dust on the unsealed driveway, which will have an adverse effect on the residents in the area.	Two trailers per week. I don't think this will produce any noticeable dust issue.	Noted and acknowledged. The applicant will be required to improve the battleaxe leg with compacted gravel in addition to the construction of an industrial grade crossover onto the battleaxe leg.
	Water - Our block (Lot 11 Timaru Road) has a large wetland area during the winter months. With the proposed manure storage facility so close to the wetlands and with the high water table in the area, we are concerned that contaminated rainwater running off the concrete manure pad could leach into the groundwater.	The only area which will be in contact with both manure and rainwater would be the concrete pad at the front of the shed. There would be a fall on this pad directing all rainwater towards the drains so rainwater would never run off but would be collected in the tanks	Whilst the Shire acknowledges that there is a Conservation Category Wetland located within the property, we believe the conditions of approval shall minimise any negative effect on the wetland. The proposed shed will be elevated onto both a sand and concrete pad to ensure minimisation of contact with the natural ground.
	Road Impact - As we share a common driveway that has only been built for light traffic, we feel the semitrailers will severely damage this driveway. At the entrance to the shared driveway there is a sharp 90 degree bend when entering and existing due to a power pole located on the edge of the driveway. During the summer months the impact to the bitumen on Timaru Road is already visible even with a light amount of traffic; the weight of a semi - trailer could cause significant damage.	The driveway is already severely damaged but I have stated that I will repair this. I live very close to a new housing development but my local roads were not designed to take numerous heavy trucks. This development has required hundreds of loads of sand, brick trucks and all sorts of other heavy vehicles but the roads have not been severely affected. Why would a couple of loads per week do so much damage?	It is acknowledged that the existing battleaxe leg access is currently in need of remediation. A condition of approval will require that both the battleaxe leg and crossover be improved prior to the commencement of the 'Industry - Rural' activities.
	Other concerns - other concerns about the people proposing this facility is, that they will not be living on the property so will not encounter any adverse effects.	I don't believe the proposal will have any impact on the rural appeal of the street and would not wish to see great industrial activity. This is a rural business and would suit a rural area.	Noted.
	We are also querying why the owner is relocating from their current location, and were disappointed to hear that not everyone on the street was made aware of the proposal.	I currently work from the feedlot in York and struggle with a minimum of 3 hours travel time every time I need to bag manure. I am also looking to invest in a rural property. I am looking to re-locate to somewhere closer to have greater control and flexibility.	Noted. Letters were went to nearby residents within 900m of Lot 12 (101) Timaru Road - (See Attachment No.4 in accompanying report). A copy of the proposal was available at the Shire office and could be emailed direct if requested or could be emailed upon request.

Submission No.	Comment	Applicants Responses	Shire Officer Response
7	As an adjoining landowner of Lot 1/263 Timaru Road, Muchea we object for this business because		
	1. We have enough problems with stable fly on our road, we don't need anymore.	Dr David Cook the entymologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	Noted and acknowledged. Should Council grant approval for tis application it would be subject to the applicant complying with the management plan which includes the control of flies, should it be determined that there is a fly issue and non compliance with the planning approval, the landowner can be prosecuted under the Planning and Development Act 2005. A number of expert authorities were consulted regarding the fly concern and it was determined that this proposed use would not create additional flies above what is normally experienced within this agricultural area.
	2. Businesses need to be run in correct zoning - Commercial, Industrial, Retail - Not on our peaceful rural road.		Noted and acknowledged. Lot 12 Timaru Road is zoned 'Agricultural Resource' with the land use 'Industry - Rural' considered a 'D' use which means that the use is not permitted unless the Local Government has exercised its discretion by granting Planning Approval. Properties along Timaru Road are not zoned 'Rural Residential'.
	3. Due to DUST and ENVIRONMENTAL issues		
	4. We do not want extra volumes of traffic	Two semi loads per week!	Noted and acknowledged. Lot 12 Timaru Road is located 1km from the intersection of Brand Highway which is a relatively short distance for the vehicles to deliver the product. It is considered that truck movements are minimal enough not to create an inconvenience or risk to surrounding landowners.
	5. What worries us what starts out a small business always usually ends up to be a large business as we DO NOT WANT IT ON OUR ROAD	Yes I would like to grow the business but would be happy to have a realistic cap on the number of delivery vehicles. I would not be looking to make further developments to the site other than those already proposed.	Noted.
	6. They are NOT RESIDENTS of our road and looks like they never will; why should we Live with it and they don't and won't that isn't fair at all.		Noted.

Submission No.	Comment	Applicants Reponses	Shire Officer Response
8	Thank you for your letter and proposal informing us of the application to conduct a manure bagging business and the opportunity to comment on the proposal. As property owners we strongly oppose this business going ahead due to the following reasons:- I own horses and have a small riding school and often have children and adults riding and if the horses are bitten by biting flies they can become potentially dangerous.	Dr David Cook the entomologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	Noted and acknowledged. Should Council grant approval for tis application it would be subject to the applicant complying with the management plan which includes the control of flies, should it be determined that there is a fly issue and non compliance with the planning approval, the landowner can be prosecuted under the Planning and Development Act 2005. A number of expert authorities were consulted regarding the fly concern and it was determined that this proposed use would not create additional flies above what is normally experienced within this agricultural area.
	Also, it would not be good for business if the clients are being bitten as well.	Dr David Cook the entomologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	As above.
	I have two young children myself that ride and I would hate for their ponies or themselves to be bitten. I know the proposal said that flies would not be a problem and that they will be in contained sheds, however whilst the manure is in transit, it would be very easy for the flies to 'escape' and as we all well know they love to breed in manure.	Dr David Cook the entomologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	Noted and acknowledged. All deliveries will be required to be covered upon transit. A large portion of the product retained within the shed will be of a bagged nature.
	Also, when the shed doors are being opened and closed, how can the owner guarantee flies will not 'escape'?	Dr David Cook the entomologist contracted by the health department is happy that the composted chook manure will not be a breeding area for stable fly and has not raised any concerns regarding the sheep or cow manure. I would be happy to install a Williams trap if this would alleviate neighbours concerns.	Noted and acknowledged. Should Council grant approval for tis application it would be subject to the applicant complying with the management plan which includes the control of flies, should it be determined that there is a fly issue and non compliance with the planning approval, the landowner can be prosecuted under the Planning and Development Act 2005. A number of expert authorities were consulted regarding the fly concern and it was determined that this proposed use would not create additional flies above what is normally experienced within this agricultural area.
	Feedlots are not under cover so we fail to see how manure derived from them can be dry and therefore not smell or harbour stable fly.	Feedlots are covered!	Noted. The applicant has advised that the product delivered to the property will be dry in nature, with
	There are also many residents that have small grandchildren visiting and small children themselves and some just live on Timaru Road as a lifestyle change and therefore as it is a residential and rural street, I feel this is not the place for such an establishment and it should perhaps be run in an industrial are or far away from other residents. There is also the added risk of the young children being run over by semi - trailers.	I chose this land due to its secluded location and because I was happy that the distance between proposed operations and neighbours would be sufficient so as not to have any adverse effect on their lifestyle. Any additional vehicle in the street will statistically increase the the chance of an accident but is this a realistic concern?	Noted and acknowledged. Lot 12 Timaru Road is zoned 'Agricultural Resource' with the land use 'Industry - Rural' considered a 'D' use which means that the use is not permitted unless the Local Government has exercised its discretion by granting Planning Approval. Properties along Timaru Road are not zoned 'Rural Residential'.
	Another concern is that the owner will not be onsite permanently and therefore would not be able to make sure all the requirements for a safe running of this type of business are followed and neither will he know the true effects of his business on residents.	No I will not be permanently on site but as the person who orders the manure then bags the manure and then delivers the manure I am fully aware of what is happening at all times. If there are any issues which are causing concern I'm sure that the relevant Shire departments will be informed and in turn make myself aware.	Noted and acknowledged.
	Also, the dust created by semi - trailers on a gravel road would create an issue to neighbours health and properties.	Two trailers per week. I don't think this will produce any noticeable dust issue.	Noted and acknowledged. Deliveries will be made from the sealed section on Timaru Road, travelling 1km from Brand Highway. If approval is granted, the applicant would be required to upgrade both the crossover and battleaxe leg to improve the condition and minimise any adverse impacts from use of heavy vehicles for deliveries.

<p>I also feel that they type of establishment on Timaru Road would greatly decrease the property value of our properties.</p>	<p>I disagree. This is a small operation contained within a shed with minimal increased traffic.</p>	<p>Noted.</p>
<p>The odour from other chicken farms that are located much further away than this property cause us problems, so if this establishment was to go ahead on Timaru Road, it would definitely impact us greatly.</p>	<p>Chicken manure is far more pungent than any either sheep or cow. The reason the chook manure smells so much is because it is fresh and moist however my manures are dry and aged.</p>	<p>Noted. It is considered that this application will not contribute any additional smells that are not normally experienced in a rural area. The applicant has detailed management measures to ensure odour mitigation.</p>
<p>We strongly request that this proposal be declined and I would appreciate a reply to this letter.</p>		

Submission No.	Comment	Applicants Reponses	Shire Officer Response
9	We are writing in regards to the proposal we received regarding the Bagging of Manure and Compost on Lot 12 Timaru Road, Muchea Our concerns are as follows:		
	Are the sheep and cow manure's fully composted as the chicken manure is?	No the sheep and cow manure are not composted. They are however aged and of a dry consistency.	Noted, refer to applicants response.
	How is he bringing 3 types of manure with less than 2 truck movements per week without stockpiling the manure?	Whilst I would not be stock piling manure there would be an amount of unbagged and bagged manure stored in the shed.	Noted, refer to applicants response.
	The measurements on the map are not giving us accurate information for the distances from the boundary lines. The shed distance is marked on the east side as 30 metres from our boundary fence but that is not including the driveway around the shed that is part of the business. The north side is not marked.	Shed is 30 metres from both boundaries. I am not aware of legislation regarding tracks or driveways.	Noted. The applicant has complied with the setbacks required for Agricultural Resource zoned properties as per LPP No. 18.
	The pad that is proposed for construction for deliveries, will that be used for storage?	No the pad is just for receiving deliveries. All storage will be within the shed.	No the pad proposed in the application will not be used for storage of the applicants product it will be used for deliveries only.
	Regarding the compost tip off area in front of the shed with drainage pick up points, materials will fill and block up the catchment pits and contaminated run-off with run into ground water and sensitive wet lands.	The drains will be covered prior to manure being delivered with the aim of preventing manure blocking the drainage system.	Noted, this has been addressed by the applicant.
	The tank storage area for the run-off is inadequate volume size for the rainfall per square metre.	It has been agreed that two 10,000 litre tanks would need to be installed as well as a clay lined vegetated pit. Rosanna from Landcare has kindly offered to advise on this swale.	Noted and acknowledged. In response to the advice of Chittering Land Care the applicant has increased the size of the tank so as to be able to achieve the capacity to cater to rainfall events.
	Distances from sensitive wetlands are not included.	80 meters approx. to shed.	Noted and acknowledged. The proposed shed is 80m from the Conservation Category Wetland.
	Is the manure being worked wet or dry? In the proposal he is saying he is working it both ways. We are concerned about airborne diseases and dust, with moisture it creates odour. We already have a disgusting odour as the chicken farm south of us is stockpiling raw manure and we are concerned about an increase in fly's.	The manure is being bagged dry but may be dampened to suppress dust. This is only done during the bagging process and will not affect unbagged stock.	Noted and acknowledged. Should Council grant approval for this application it would be subject to the applicant complying with the management plan which includes the control of flies, should it be determined that there is a fly issue and non compliance with the planning approval, the landowner can be prosecuted under the Planning and Development Act 2005. A number of expert authorities were consulted regarding the fly concern and it was determined that this proposed use would not create additional flies above what is normally experienced within this agricultural area.
	Will there be any clauses regarding the expansion of his business eg. Volumes in and out, additional buildings for storage and deliveries, driveways etc.		Noted.
	Has the proposed property changed zones from rural residential to business?		No the property has not changed its zoning. It is zoned 'Agricultural Resource' as are the properties along Timaru Road. Industry - Rural is a 'D' use in the Shire of Chittering's Town Planning Scheme No. 6. The 'Industry - Rural' is a land use which may enable the applicant to undertake the proposed activity.
	If we were to put in a request to build a second dwelling on our property or subdivide a portion, what would the restrictions be and this proposal is going to depreciate the value of our property!		Noted.
	Thank you for your time. I hope you consider our points carefully.		

Information provided by applicant's supplier relating to the compost (email dated 21 May 2015)

The information below has been provided by Mr. Scott Boyle, the applicant's supplier who is based in the Shire of York.

The compost ingredients is 50% sheep manure, 30% straw, and 20% broiler litter.

The product starts at a 25:1 CN ratio and finishes at about 7:1. It remains at 55% moisture throughout. It stays between 55 - 70 degrees Celsius for around 40 days then enters a minimum maturation for 30 days before being sold. The compost gas remains above 5% oxygen and below 20% carbon monoxide to keep it aerobic. If my gas meter or thermometer show that the compost mix is outside any of the aforementioned parameters then the compost gets "turned" with a windrow machine.

The finished compost smells like soil as all of the ammonia has been converted to nitrates and nitrites by the microbes.



Pictures from Site Visit

Lot 12 (101) Timaru Road, Muchea



Existing approved shed



View from location where proposed shed is to be located south west towards Conservation Category Wetland and Dwelling



View from proposed shed location to western boundary of property and location of existing shed



Outer boundary of Conservation Category Wetland



Existing entry to battle axe leg to Lot 12 (101)
Timaru Road, Muceha



Entry to Lot 12 (101) Timaru Road, Muceha
heading north towards Timaru Road



Battle axe leg to Lot 12 (101) Timaru Road,
Muceha



Timaru Road looking east from entrance to Lot
12 (101) Timaru Road towards Brand Highway